



PLANNING & DEVELOPMENT ADVISORY COMMITTEE

September 8, 2020

7:00 p.m.

Register at:

<https://us02web.zoom.us/j/84323488567?pwd=YjF0L2dDdjFqeDErWVVWaFNqZncxQT09>

Alternatively, join by phone:

Canada: +1 778 907 2071 or

+1 438 809 7799 or

+1 587 328 1099 or

+1 613 209 3054 or

+1 647 374 4685 or

+1 647 558 0588

Webinar ID: 843 2348 8567

Password: 754539

International numbers available: <https://us02web.zoom.us/j/84323488567?pwd=YjF0L2dDdjFqeDErWVVWaFNqZncxQT09>

AGENDA

COMMITTEE OF ADJUSTMENT:

1. ROLL CALL

2. OPENING REMARKS

3. DISCLOSURE OF PECUNIARY INTEREST

4. APPROVAL OF MINUTES

- August 11, 2020

5. APPLICATIONS FOR MINOR VARIANCE OR PERMISSION under section 45 of the Planning Act to be heard by the Committee this date:

5(a) Minor Variance Application D13/HAR – George and Dorothy Harris - Property described as Part Lot 27, Concession 1, municipally known as 7182 Concession 1, Township of Puslinch.

Requesting relief of New Comprehensive Zoning By-law #023-2018, as amended, to permit a reduced lot frontage of the retained parcel to be 19.5 metres instead of 120 metres as required.

5(b) Minor Variance Application D13/SIN – Kuldeep Singh, Harmonjot Grewal, and Navkiranpreet Kaur - Property described as Part Lot 14, Concession 3, municipally address not yet assigned, Township of Puslinch.



PLANNING & DEVELOPMENT ADVISORY COMMITTEE

September 8, 2020

7:00 p.m.

Requesting relief of New Comprehensive Zoning By-law #23-2018, as amended, to permit a maximum height of a single family dwelling to be 12.5 metres to the peak of the roof instead of 10 metres, as required.

- 5(c) Minor Variance Application D13/ADD – Joseph Addeo** - Property described as Part Lot 27, Concession 10, municipally known as 4331 Watson Road South, Township of Puslinch.

Requesting relief of New Comprehensive Zoning By-law # 23-2018, as amended, to permit an accessory building to be permitted prior to the erection of the principal building on the lot, as required.

6. OTHER MATTERS

- None

7. ADJOURNMENT OF COMMITTEE OF ADJUSTMENT

PLANNING & DEVELOPMENT ADVISORY COMMITTEE

8. ROLL CALL

9. OPENING REMARKS

10. DISCLOSURE OF PECUNIARY INTEREST

11. APPROVAL OF MINUTES

- August 11, 2020

12. APPLICATION FOR SITE PLAN URBAN DESIGN REVIEW

- None

13. ZONING BY-LAW AMENDMENT

Housekeeping By-law Amendment to New Comprehensive Zoning By-law #23-2018 – For the Committee's comments. **Note:** The Committee will only be providing comments on the Housekeeping Amendment, not the current zoning by-law.

14. LAND DIVISION



PLANNING & DEVELOPMENT ADVISORY COMMITTEE
September 8, 2020
7:00 p.m.

None

15. OTHER MATTERS

- None

16. CLOSED MEETING

- None

17. NEXT MEETING Tuesday, October 13, 2020 @ 7:00 p.m.

18. ADJOURNMENT

MINUTES

ROLL CALL:

MEMBERS PRESENT

Councillor John Sepulis, Chair
Dan Kennedy
Dennis O'Connor
Deep Basi
Paul Sadhra

MEMBERS ABSENT

None

OTHERS IN ATTENDANCE

Lynne Banks, Development and Legislative Coordinator
Courtenay Hoytfox, Deputy Clerk
Zachary Prince, Planner, County of Wellington
Meagan Ferris, Planner, County of Wellington
Christine McKay

1. OPENING REMARKS

The meeting was called to order at 7:00 pm via electronic participation. The Chair welcomed those attending the meeting to the Committee of Adjustment and informed the attendees that Township Staff would present the application, then the applicant would have the opportunity to present the purpose and details of the application and provide any further relevant information. Following this, the public can obtain clarification, ask questions and express their views on the proposal. The members of the Committee can then obtain clarification, ask questions and express their views on the proposal. All application decisions are subject to a 20 day appeal period.

2. DISCLOSURE OF PECUNIARY INTEREST

- None

3. APPROVAL OF MINUTES

Moved by: Deep Basi

Seconded by: Dennis O'Connor

That the Minutes of the Committee of Adjustment meeting held Tuesday, July 14, 2020 be adopted.

CARRIED

4. APPLICATIONS FOR MINOR VARIANCE OR PERMISSION under section 45 of the Planning Act to be heard by the Committee this date:

- 4(a) Minor Variance Application D13/SCH – Brad Schmuck/Christine McKay** - Property described as Front Part Lot 31, Concession 7, municipally known as 7297 CALFASS Road, Township of Puslinch. Requesting relief of New Comprehensive Zoning By-law #023-2018, as amended, to permit a maximum height of an accessory structure to be 7.28 metres to the peak of the roof instead of 5 metres, as required.

- The owner, Christine McKay provided an overview of the application.
- There were no comments from the public.
- Dennis O'Connor asked if there is a home based business on the property and is the accessory building going to be a commercial shed.

- The owner advised that there is no home based business, the accessory building is being built for storage of their food truck so that it is not kept outside on the property.
- Paul Sadhra inquired if there will be any other commercial activities on the site.
- The owner advised that they do mobile catering and all operations are done off site.
- Paul Sadhra asked if there is the potential for the abutting property along the tree lined side of the owner's property to sever the land in the future and would it be impacted by the accessory building.
- Zachary Prince advised that the side yard set backs are being met on the owner's property for the accessory building and there are no restrictions for the accessory building.
- Paul Sadhra asked that if there is a future severance for the abutting lot could the severed lot be affected by the proposed building.
- Zach Prince advised that the abutting land is currently vacant and there is nothing in the Official Plan that would limit development of the land.
- Dan Kennedy asked if there will be any changed to the driveway access to the road allowance.
- Christine McKay advised that there won't be any changes to the configuration of the driveway.
- John Sepulis advised that the committee will include a condition of approval of the minor variance that the owner provide a letter to the Township stating that the accessory building will not be of a commercial or industrial use.

That Application D13/SCH requesting relief from provisions of Zoning By-Law #023/2018, as amended, to:

Permit a maximum height of an accessory structure to be 7.28 metres to the peak of the roof instead of 5 metres, as required.

Is approved with the following condition:

That the Owner provide a letter, commissioned by a Commissioner for Taking Oaths, confirming that there will be no commercial or industrial use of the accessory structure that is the subject of this Decision.

The Committee voted on the motion **with all in favour**.

5. OTHER MATTERS

None

6. ADJOURNMENT

Moved by: Paul Sadhra

Seconded by: Dan Kennedy

The Committee of Adjustment meeting adjourned at 7:13 p.m.

CARRIED

MINUTES

ROLL CALL:

MEMBERS PRESENT

Councillor John Sepulis, Chair
Deep Basi
Dan Kennedy
Paul Sadhra
Dennis O'Connor

MEMBERS ABSENT

None

OTHERS IN ATTENDANCE

Lynne Banks, Development and Legislative Coordinator
Courtenay Hoytfox, Deputy Clerk
Zachary Prince, Planner, County of Wellington
Meagan Ferris, Planner, County of Wellington
Nancy Shoemaker, BSR& D
Susan and Paul Course

1 - 6. COMMITTEE OF ADJUSTMENT

- See August 11, 2020 Committee of Adjustment minutes.

7. OPENING REMARKS

The meeting was called to order via electronic participation at 7:14 p.m. The Chair advised that the following portion of the Committee meeting will be reviewing and commenting on development planning applications.

8. DISCLOSURE OF PECUNIARY INTEREST

- None

9. APPROVAL OF MINUTES

Moved by: Dan Kennedy

Seconded by: Deep Basi

That the Minutes of the Planning & Development Advisory Committee Meeting held Tuesday, August 11, 2020, be adopted.

CARRIED

10. APPLICATION FOR SITE PLAN URBAN DESIGN REVIEW

- None

11. ZONING BY-LAW AMENDMENT

Zoning By-law Application D14-COU – Paul and Susan Course, Front Part Lot 31, Concession 9, 7677 Wellington Road 36, Puslinch.

The purpose and effect of the application is to amend the Township of Puslinch New Comprehensive Zoning By-law 23/2018 to rezone the lands to permit a Garden Suite.

- The owner provided an overview of the application.

- Deep Basi asked that since this is temporary will they connect the garden suite to the existing septic.
- The owner advised that they will be putting in a new septic system and both the existing dwelling and the garden suite will connect to the new septic.
- Deep Basi also asked if the garden suite will be on separate hydro.
- The owner advised that it will run on the existing hydro.
- Dan Kennedy asked if it will use the existing well on the property.
- The owner advises that yes, it will.
- Dan Kennedy asked how long they expect to have the garden suite on their property.
- The owner advised that it will be there for 10 years at the minimum.
- John Sepulis asked if it is for their son and daughter-in-law.
- The owner advised that it is.
- There were no further questions.

Committee's Comment for the scheduled public meeting:

The Committee has no concerns and supports the proposed zoning by-law amendment application.

Moved by: Dan Kennedy

Seconded by: Deep Basi

12. LAND DIVISION

12(a) Severance Application B40-20 (D10/SIS) – Daniel & Elizabeth Sisolak, Part Lot 31, Concession 8, 7539 Wellington Road 36, Puslinch.

Proposed severance is 0.4 hectares with 33.78 metres frontage, existing and proposed rural residential use.

Retained parcel is 0.47 hectares with 39.15 metres frontage, existing and proposed rural residential use with existing dwelling.

- Nancy Shoemaker, agent for the applicant, provided an overview of the application and noted that the property is zoned FD2 and that there are currently solar panels on the property that the owner will be keeping. She also advised that she has spoken with the County roads department regarding access and spoke with Hamilton Conservation who will be providing comments to the Land Division Committee due to the greenlands located at the rear of the property.
- Dennis O'Connor asked if the well will be kept separate from the proposed severed parcel.
- Nancy Shoemaker advised that the existing well will stay with the retained parcel and the owners will be drilling a new well on the severed parcel.
- Deep Basi asked if safe access is possible with the solar panels being located so close to the road
- Nancy Shoemaker advised that she is working with the County roads department for an appropriate entrance location and there will be room to the east and west of the front panels for a driveway and if it is necessary one of the panels can be shifted to ensure safe entrance.
- Deep Basi asked if an EIS has been done or if it necessary.
- Nancy Shoemaker advised that she is not sure if it is required as part of the application and that she hasn't been asked by the County to do an EIS.
- Paul Sadhra asked what is permitted within the FD2 zone.

- Meagan Ferris advised that the FD2 zone is for future development and that there are different categories for future development. The FD2 zone is subject to provisions of the rural residential standards.
- Paul Sadhra asked if it aligns with future development.
- Meagan Ferris advised that the lot is a larger lot in the urban area which could be why it is zoned FD2 and that residential is a permitted use.
- John Sepulis asked where the current location is for the existing septic.
- Nancy Shoemaker advised that it is located to the rear of the dwelling.
- John Sepulis asked if the set backs are permitted for the septic.
- Nancy Shoemaker advised that they are.
- John Sepulis asked who will be the beneficiary of the solar panels.
- Nancy Shoemaker advised that they will be on the severed parcel and that the current owner will sell the retained parcel and will build on the severed parcel.
- John Sepulis noted that Township conditions will include that Township approval will be subject to conservation authority approval, that safe access be assured and that the solar panels remain with the severed parcel.
- Deep Basi asked if it is possible to relocate the panels to the rear of the existing home.
- Nancy Shoemaker advised that it is not feasible as it is too costly for the owner to move them but some minor shifting of the panels can be done to accommodate the driveway.
- There were no further comments or questions.

The committee supports the application with the **following conditions** imposed:

1. That the Owner satisfy all the requirements of the Township of Puslinch, financial and otherwise (including taxes paid in full and Consent Review/Condition Clearance fee) which the Township may deem to be necessary at the time of issuance of the Certificate of Consent for the property and orderly development of the subject lands; and further that the Township of Puslinch file with the Secretary-Treasurer of the Planning and Land Division Committee a letter of clearance of this condition.
2. Subject to approval from the appropriate conservation authority.
3. Safe access to the road to be assured by the County Roads Department.
4. Ownership of solar panels will remain with the severed parcel.

CARRIED

Moved by: Deep Basi

Seconded by: Dan Kennedy

12(b) Severance Application B41-20 (D10MAM) – Mammoet Crane (Assets) Inc., Part Lot 25, Concession 8, 7504 McLean Road East, Puslinch.

Proposed severance is 207.465 metres frontage x 134.7 metres = 2.876 hectares, existing vacant land for proposed industrial use.

Retained parcel is 27.401 hectares with 557 metres frontage, existing and proposed industrial use with existing industrial building.

- Nancy Shoemaker, agent for the applicant, provided an overview of the application.
- Dan Kennedy noted that a comment should be added to the Township's comments that it should be subject to GRCA approval.
- There were no further comments or questions.

The committee supports the application with the **following conditions** imposed:

1. That the Owner satisfy all the requirements of the Township of Puslinch, financial and otherwise (including taxes paid in full and Consent Review/Condition Clearance fee) which the Township may deem to be necessary at the time of issuance of the Certificate of Consent for the property and orderly development of the subject lands; and further that the Township of Puslinch file with the Secretary-Treasurer of the Planning and Land Division Committee a letter of clearance of this condition.
2. That the Township's roads department are satisfied that there is a safe entrance to the property and that the Owner obtain an approved Entrance Permit verifying safe access and site lines on the severed parcel from the Township of Puslinch; and further that the Township file with the Secretary-Treasurer of the Planning and Land Division Committee a letter of clearance of this condition.
3. That the Township's engineer approve of the location of the proposed entrance to the severed parcel and that the applicant pay the Township's costs for the Township's engineer's review of the entrance location.
4. Should the entrance to the severed parcel be required to be located on the east side of the property, McLean Road will need to be extended to accommodate the entrance location and the owner will be responsible for all Township costs for extending McLean Road.
5. Subject to GRCA approval.

CARRIED

Moved by: Dennis O'Connor

Seconded by: Dan Kennedy

12(c) Severance Application B52-20 (D10MAM) – Mammoet Crane (Assets) Inc., Part Lot 25, Concession 8, 7504 McLean Road East, Puslinch.

Proposed easement is 3 metres x 38.6 metres = 0.012 hectares, in favour of retained parcel for storm sewer lateral and catchbasin. See severance application B 41-20.

- Nancy Shoemaker, agent for the applicant provided an overview of the application and noted that the owner of the lands to be severed will have to maintain the catchbasin and that the County required the easement to allow Mammoet access to the catchbasin.
- Deep Basi asked who will be responsible for maintenance of the easement. Nancy Shoemaker advised that the lawyers for both parties will have to work out the terms of the easement as the catchbasin will catch water from both the severed and retained lands. She also advised that the sewer lateral will be maintained by Mammoet.

The committee supports the application with the **following conditions** imposed:

1. That the Owner satisfy all the requirements of the Township of Puslinch, financial and otherwise (including taxes paid in full and Consent Review/Condition Clearance fee) which the Township may deem to be necessary at the time of issuance of the Certificate of Consent for the property and orderly development of the subject lands; and further that the Township of Puslinch file with the Secretary-Treasurer of the Planning and Land Division Committee a letter of clearance of this condition.
2. Subject to a satisfactory agreement for maintenance of the easement between both the owner and the proposed purchaser of the lands to be severed.
3. Subject to GRCA approval.



THE CORPORATION OF THE TOWNSHIP OF PUSLINCH
PLANNING & DEVELOPMENT ADVISORY COMMITTEE

AUGUST 11, 2020

7:00 PM

ELECTRONIC PARTICIPATION

CARRIED

Moved: Dennis O'Connor

Seconded: Dan Kennedy

13. OTHER MATTERS

13(a) MDS Presentation by Zachary Prince, Planner, County of Wellington.

- Zachary Prince provided an overview of the purpose of Minimum Distance Separation (MDS) and how it is calculated.

13(b). Correspondence from Ontario Barn Preservation – For Information Purposes Only

14. CLOSED MEETING

- None

15. NEXT MEETING

- Next Regular Meeting Tuesday, September 8, 2020 @ 7:00 p.m.

16. ADJOURNMENT

Moved by: Dennis O'Connor

Seconded by: Deep Basi

That the Planning & Development Advisory Committee is adjourned at 8:13 p.m.

CARRIED



Township of Puslinch
7404 Wellington Road 34
Puslinch, ON, N0B 2J0
T: (519) 763 – 1226
F: (519) 763 – 5846
www.puslinch.ca

Minor Variance or Permission Application

General Information:

1. Applicant Information:

Registered Owner's Name(s): Dorothy Lou Harris and George Howard Harris

Address: 7182 Concession 1

City: Puslinch

Postal Code: N0B 2J0

E-mail Address: [REDACTED]

Telephone Number: [REDACTED]

Fax:

Applicant (Agent) Name(s): Black, Shoemaker, Robinson & Donaldson Limited

Address: 257 Woodlawn Road, Unit 101

City: Guelph

Postal Code: N1H 8J1

E-mail Address: nancy@bsrd.com

Telephone Number: 519-822-4031

Fax:

Name, address, and phone number of all persons having any mortgages, charges, or encumbrances on the property.

Send correspondence to: Owner: ☒ Agent ☒ Other: _____

2. Provide a description of the "entire" property:

Municipal address: 7182 Concession Road 1

Concession: 1 Lot: South Half of Lot 27

Registered Plan Number: _____

Area: 12.96 ha Depth: 1,030 m Frontage: 64.77 m
32 ac 3,379 ft 212.5 ft

Width of road allowance (if known): 20 m

Reason for Application:

3. Please indicate the Section of the Planning Act under which this application is being made. Select one:

- ☒ Section 45(1) relates to a change to a by-law standard (e.g. setbacks, frontage, height, etc.); or
- ☐ Section 45(2) relates to a change to or expansion of an existing legal non-conforming use.

4. What is the nature and extent of the relief that is being applied for? (please specifically indicate on sketch).

Seeking relief from Minimum Lot Frontage regulation set out in Section 5.3 b) of the by-law.
By-law requires Minimum Lot Frontage of 121.9 m and retained parcel will have a Minimum Lot Frontage of 19.5 m.

**5. Why is it not possible to comply with the provisions of the by-law?
(please specifically indicate on sketch).**

Existing parcel of land does not have a total frontage that would meet Minimum Lot Frontage requirements for both retained and proposed consent parcel.

6. What is the current Official Plan and zoning status?

Official Plan Designation: Secondary Agricultural

Zoning Designation: Agricultural (A)

7. What is the access to the subject property?

Provincial Highway: ☐

Continually maintained municipal road: ☒

Seasonally maintained municipal road: ☐

Other: ☐ (please specify below)

8. What is the name of the road or street that provides access to the subject property?

Concession 1

9. If access is by water only, please describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land to the nearest public road.

N/A

Existing and Proposed Service:

10. Indicate the applicable water supply and sewage disposal:

Water Supply/Sewage Disposal:	Existing:	Proposed:
Municipal Water:	<input type="checkbox"/>	<input type="checkbox"/>
Communal Water:	<input type="checkbox"/>	<input type="checkbox"/>
Private Well:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Other Water Supply:	<input type="checkbox"/>	<input type="checkbox"/>
Municipal Sewers:	<input type="checkbox"/>	<input type="checkbox"/>
Communal Sewers:	<input type="checkbox"/>	<input type="checkbox"/>
Private Septic:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Other Sewage Disposal:	<input type="checkbox"/>	<input type="checkbox"/>

11. How is storm drainage provided?

Storm Sewers: ☐

Ditches: ☒

Swales: ☐

Other means: ☐ (explain below)

Existing Subject and Abutting Property Land Uses, Buildings and their Locations:

12. What is the existing use of:

The subject property? Part of rural residential property

The abutting properties? Gravel extraction & natural area to north, rural residential & farmland to south and west, and rural residential to east.

13. Provide the following details for all buildings on or proposed for the subject land: (please use a separate page if necessary)

Type of Building(s)/ structures	Detached residential dwelling -design not determined at this time but will be in accordance with by-law requirements			
Main Building height	m	ft.	m	ft.
*Percentage lot coverage	m ²	ft.	m	ft.
*Number of parking spaces				
*Number of loading spaces				
Number of floors				
Total floor area	m ²	ft ²	m ²	ft ²
Ground floor area (exclude basement)	m ²	ft ²	m ²	ft ²

14. What is the location of all buildings existing and proposed for the subject property? (specify distances from front, rear and side lot lines)

Front Yard	m	ft.	m	ft.
Rear Yard	m	ft.	m	ft.
Side Yards	m	ft.	m	ft.

15. What are the dates of acquisition and construction of subject property and building property?

Date of acquisition of subject property: June 1, 1972

Date of construction of buildings property: early 1900's with additions up to 1987

16. How long have the existing uses continued on the subject property? over 100 years

17. Has the owner previously applied for relief in respect of the subject property?

Yes ☐ No ☒

If the answer is yes, please indicate the file number and describe briefly:

Other Related Planning Applications:

18. Has an application for any of the following on the subject lands?

Planning Application:	Yes:	No:	File Number:	Approval Authority:	Subject Lands	Purpose:	Status:
Official Plan Amendment	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Zoning By-Law Amendment	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Plan of Subdivision	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Consent (Severance)	<input checked="" type="checkbox"/>		B27/20	Wellington County	<input checked="" type="checkbox"/>	Sever existing house	On circulation
Site Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Minor Variance	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Current application	Township of Puslinch	<input checked="" type="checkbox"/>	Relief from Min. Lot Frontage	

(If affidavit is signed by an Agent/Solicitor on Owner's behalf, the Owner's written authorization below shall be completed)

Aug 4 / 2020
Date

I (we) Nancy Shoemaker of the
City of Guelph County/Region of
Wellington solemnly declare that all the statements
contained in this application are true, and I, (we), make this solemn declaration
conscientiously believing it to be true, and knowing that it is of the same force and effect
as if made under oath and by virtue of the CANADA EVIDENCE ACT. DECLARED
before me at the City of Guelph in the
County/Region of Wellington this 4th day of
July ~~July~~ August, 20 20.

August 4, 2020
Date

August 4, 2020
Date

Agreement to Post Sign and Permit Site Visits:

A form is included in the Zoning By-law Amendment application to agree to erect a sign on the subject lands and to permit Township employees/representatives to enter the lands for site visits.

The applicant is required to erect and maintain a sign on the proposed lands within one week of the application being deemed complete by staff and to remove the sign when the application has been given final approval. The sign shall be a minimum of 1.2 x 1.2 metres on posts 0.5 metres above grade and include the following wording to be approved by Township staff:

A PROPOSAL HAS BEEN MADE
ON THIS SITE FOR: (50 mm text height)
A ZONING BY-LAW AMENDMENT TO xxx (100 mm text height)
FOR FURTHER INFORMATION
PLEASE CONTACT THE TOWNSHIP OF PUSLINCH 7404 WELLINGTON ROAD 34
(519) 763 - 1226 (30-50 mm text height)

For Administrative Purposes Only:

Application fee of \$_____ received by the municipality

Date Fee Received: _____

Date Application Filed: _____

File Number: _____

Application deemed complete:

Signature of Municipal Employee

Date

Personal information on this form is collected under the authority of the Planning Act. The information is used for the purpose of processing this application and administering the legislation and is maintained in accordance with the Municipal Freedom of Information and Protection of Privacy Act. Questions regarding the collection of this information may be directed to the Township Clerk's office.

The Township of Puslinch is committed to providing accessible formats and communication supports for people with a disability. If another format would work better for you, please contact the Township Clerk's office for assistance.

REPORT SUMMARY

INFORMATION ONLY OF COMMENTS RECEIVED

- APPLICATION TO BE SCHEDULED FOR CONSIDERATION AT A LATER DATE.

File Number: B27-20
Applicant: George & Dorothy Harris
Subject Lands: Township of Puslinch () - Part Lot 27
Concession 1

Proposal is a request for consent to convey fee simple for a proposed rural residential lot 45.27m fr x 148m = 0.66 ha; retained being 12.3 ha

SUMMARY of FILED REPORTS and COMMENTS:

Planning Review	notice cards were posted at time of site visit; application is consistent with Provincial Policy - MDS 1 requirements are met; conforms to Official Plan - 10.4.4 - one new residential lot may be allowed from parcel of land within Secondary Agricultural which existed on March 1, 2005; lands have been owned over 5 years; Zoning - lot frontage for retained will require a minor variance due to reduced frontage; severed parcel meets frontage and area; septic system located on retained - applicant has indicated that their intent is to relocate the system entirely on severed; conditions to apply
Township of Puslinch	no comments/conditions received at time of circulation
Hamilton CA	no objections
Miscellaneous	Nancy Shoemaker, agent cover letter attached

PROPOSED CONDITIONS of APPROVAL

- 1) **THAT** the Owner's solicitor, in preparation for the issuance of the Certificate of Consent, provide to the Secretary-Treasurer of the County of Wellington Planning and Land Division Committee a printed copy of the "completed electronic transfer document in preparation".
- 2) **THAT** the Solicitor for the Owner give an undertaking in writing to provide to the Secretary-Treasurer of the County of Wellington Planning and Land Division Committee within 30 days of the date of registration in the Land Registry/Land Titles Office for Wellington (No. 61) a copy of the receipted and registered electronic transfer document including the Form 2 Certificate for Consent B27-20.
- 3) **THAT** the Owner, as provided for under Section 69 of the Planning Act, R.S.O. 1990, shall pay to the Treasurer of the County of Wellington the administrative fee which is in effect at the time of the payment of the fee for the review and issuance of the Certificate of Consent for the severed parcel.
- 4) **THAT** the transfer for registration with respect to description complies with Ontario Regulation 43-96; and if that description contains a reference to a Reference Plan(s), the Owner's solicitor shall provide a full print of that deposited reference plan(s) as well as a digital PDF copy to the secretary-treasurer of the Planning and Land Division Committee.

Conditions to be added from Puslinch Township

*****Conditions may be deleted, added to, or changed at meeting*****

Nancy Shoemaker

From: Andrew Herreman <aherreman@grandriver.ca>
Sent: Wednesday, January 22, 2020 4:02 PM
To: Nancy Shoemaker; Meagan Ferris; Reimer, Elizabeth
Cc: Ashley Rye
Subject: RE: Proposed severance - 7182 Concession 1, Township of Puslinch

Good afternoon Nancy,

Our information indicates that the proposed severance is located within the Hamilton Conservation Authority (HCA) watershed. We defer comments to HCA as the proposed severance is outside of the GRCA jurisdiction.

If you have any questions, please contact Ashley Rye.

Sincerely,

Andrew Herreman, CPT | Resource Planning Technician
Grand River Conservation Authority
400 Clyde Road, PO Box 729, Cambridge, Ontario N1R 5W6
(519) 621-2763 x 2228 | www.grandriver.ca

From: Nancy Shoemaker <nshoemaker@jdbarnes.com>
Sent: Wednesday, January 22, 2020 10:53 AM
To: Meagan Ferris <meaganf@wellington.ca>; Andrew Herreman <aherreman@grandriver.ca>; Reimer, Elizabeth <ereimer@conservationhamilton.ca>
Subject: Proposed severance - 7182 Concession 1, Township of Puslinch


Hi Meagan, Andrew and Elizabeth:

I have attached a proposed severance for the property identified as 7182 Concession 1. The owner would like to sever his existing house and build a more "senior's friendly" house on the retained parcel. I believe there is sufficient area on the retained lands to avoid the ANSI and Core Greenlands area. The owner recognizes that he will have to replace the tile field for the existing house and we have identified his preferred location on the attached plan.

I would appreciate receiving your comments on this proposal.

Thank you for your consideration.

Regards


BAA, RPP

Black, Shoemaker, Robinson & Donaldson Limited
257 Woodlawn Road West, Unit 101
Guelph, Ontario N1H 8J1
Phone: 519-822-4031
Email: nancy@bsrd.com
nshoemaker@jdbarnes.com

Nancy Shoemaker

From: Reimer, Elizabeth <ereimer@conservationhamilton.ca>
Sent: Tuesday, February 4, 2020 5:03 PM
To: Nancy Shoemaker
Cc: Meagan Ferris
Subject: RE: Proposed severance - 7182 Concession 1, Township of Puslinch

Hello Nancy,

The proposed severed lot is not regulated by the Hamilton Conservation Authority (HCA) pursuant to Ontario Regulation 161/06 (*HCA's Regulation of Development, Interference with Wetlands and Alterations to Shorelines and Watercourses*) made under the *Conservation Authorities Act, R.S.O. 1990*. Written permission would not be required from our office for future development.

Portions of both the severed and retained parcels are included in the Greenbelt Natural Heritage System. Future development of the property should conform to the policies outlined in Section 9.9 of the Wellington County Official Plan. Any new development or site alteration in the Natural Heritage System will need to demonstrate that there will be no negative effects on key natural heritage features or their functions. A natural heritage evaluation and hydrological evaluation may be required to identify a vegetation protection zone sufficient to protect the key features and their functions.

The HCA can provide more detailed comments through response to a Notice of Application for Consent from the Committee of Adjustment.

Feel free to call or email if you have further questions.

Regards,

Elizabeth Reimer

Watershed Officer

Hamilton Conservation Authority

338 Mineral Springs Road, P.O. Box 81067

Ancaster, ON L9G 4X1

Phone: 905-525-2181 Ext. 165

Email: ereimer@conservationhamilton.ca

www.conservationhamilton.ca



**Hamilton
Conservation
Authority**

A Healthy Watershed for Everyone

The contents of this e-mail and any attachments are intended for the named recipient(s). This e-mail may contain information that is privileged and confidential. If you have received this message in error or are not the named recipient(s), please notify the sender and permanently delete this message without reviewing, copying, forwarding, disclosing or otherwise using it or any part of it in any form whatsoever.



Hamilton
Conservation
Authority

A Healthy Watershed for Everyone

RECEIVED

APR 06 2020

SECRETARY TREASURER
WELLINGTON COUNTY
LAND DIVISION COMMITTEE

B27-20

BY EMAIL

April 6, 2020

Deborah Turchet, Secretary-Treasurer
Planning & Development Department
County of Wellington
74 Woolwich Street
Guelph, ON N1H 3T9

Dear Ms. Turchet,

Re: **Application for Consent – File No. B27-20**
7182 Concession 1, Pt. Lt. 27, Concession 1, Township of Puslinch

Thank you for providing the Hamilton Conservation Authority (HCA) with a copy of the Notice of an Application for Consent for the property at 7182 Concession 1, described as Part Lot 27, Concession 1, in the Township of Puslinch. Staff have reviewed the above noted application in accordance with HCA's responsibilities under the *Conservation Authorities Act* and the Memorandum of Understanding between the Ontario Ministry of Natural Resources and Forestry (MNR), the Ontario Ministry of Municipal Affairs and Housing (MMAH) and Conservation Authorities (CA) relating to provincial interests for natural hazards and offers the following comments for consideration.

Proposal

HCA staff understand the applicant proposes to sever a parcel with frontage of 45.27 m and depth of 148.84 m with an area of 0.66 ha from an existing agricultural parcel for proposed rural residential use, and further, that the retained parcel will have an area of approximately 12.3 ha and a 19.50 m frontage, where the existing rural residential use will continue.

Memorandum of Agreement Hamilton Conservation Authority and County of Wellington

The approximate 13.0 ha property, municipally known as 7182 Concession 1, is located within both HCA and Grand River Conservation Authority (GRCA) watersheds. The majority of the retained parcel falls within GRCA's jurisdiction.

The majority of the retained parcel is within the Galt Moraine Earth Science Area of Natural and Scientific Interest (ANSI). The entire subject property is within the Galt Moraine Policy Area as designated in the *County of Wellington Official Plan, Schedule B7, 2016*. Portions of the retained parcel are designated as Core Greenlands and Greenlands within the *County of Wellington Official Plan, Schedule A7, 2019*.

Both the retained and severed parcels are designated as Protected Country Side in the *Greenbelt Plan*, 2017. In addition, the majority of the retained parcel and a small portion of the severed parcel are identified as part of the Natural Heritage System of the Greenbelt.

The application for consent is consistent with both County of Wellington Official Plan and Greenbelt Plan policies, which allow for lot creation providing that natural heritage features are not affected negatively. Future development of the property should conform to the policies outlined in Sections 4.9.7, 5.5, 5.6 and 9.9 of the Wellington County Official Plan. Any new development or site alteration in or adjacent to the Natural Heritage System will need to demonstrate that there will be no negative effects on key natural heritage features or their functions. A natural heritage evaluation and hydrological evaluation may be required to identify a vegetation protection zone sufficient to protect the key features and their functions.

Ontario Regulation 161/06 under the Conservation Authorities Act

The proposed severed lot is within the Fletcher Creek subwatershed. Neither the severed parcel nor the retained parcel are regulated by the Hamilton Conservation Authority (HCA) pursuant to *Ontario Regulation 161/06 (HCA's Regulation of Development, Interference with Wetlands and Alterations to Shorelines and Watercourses)* made under the *Conservation Authorities Act, R.S.O. 1990*. Written permission would not be required from our office for future development.

MNRF/MMAH/CA Memorandum of Understanding – PPS Natural Hazards

The proposed severed parcel does not contain natural hazard lands as defined in the Provincial Policy Statement (PPS). Therefore, HCA does not have any concerns with the proposed severance or any subsequent development of the subject lands with regard to natural hazard lands.

Based on the above, HCA has no objection to the subject application. Please contact the undersigned at 905-525-2181 (ext. 165) should you have any questions or if clarification regarding these comments is required.

Sincerely,



Elizabeth Reimer
Watershed Officer

c.c. Nancy Shoemaker, Black, Shoemaker, Robinson & Donaldson Ltd. – Applicant (by e-mail)



August 4, 2020

Project: 20-14-102

Ms. Lynne Banks
Development Coordinator
Township of Puslinch
7404 Wellington Road 34
Puslinch, Ontario
N0B 2J0

Dear Ms. Banks:

**Re: Applications for Minor Variance
7182 Concession 1
Consent Application B27-20
Owner: George and Dorothy Harris**

Please find enclosed an "Application for Minor Variance" for the above-noted property. Also enclosed is a cheque payable to the Township of Puslinch in the amount of \$1,221.00 to cover the Township's processing fees. Finally, I have included a sketch illustrating the original consent and a sketch showing the approximate location of the new dwelling unit, septic system and driveway for the retained parcel.

The consent application was heard by the Township's Planning and Development Committee Advisory Committee on July 14th, 2020 and was deferred by the Committee until a minor variance for the retained parcel was submitted to the Township to allow for the circulation of the variance to surrounding property owners. In discussion with Township staff, the owner is required to apply for a minor variance to recognize the retained parcel's reduced frontage of 19.5 metres in lieu of the by-law required frontage of 121.9 metres.

Also in response to Committee member's questions raised at the July 14th meeting, I have provided a copy of the Hamilton Conservation Authority letter to Land Division Committee and County staff comments on MDS.

Should you require any additional information in support of this application, please call me.

Yours very truly

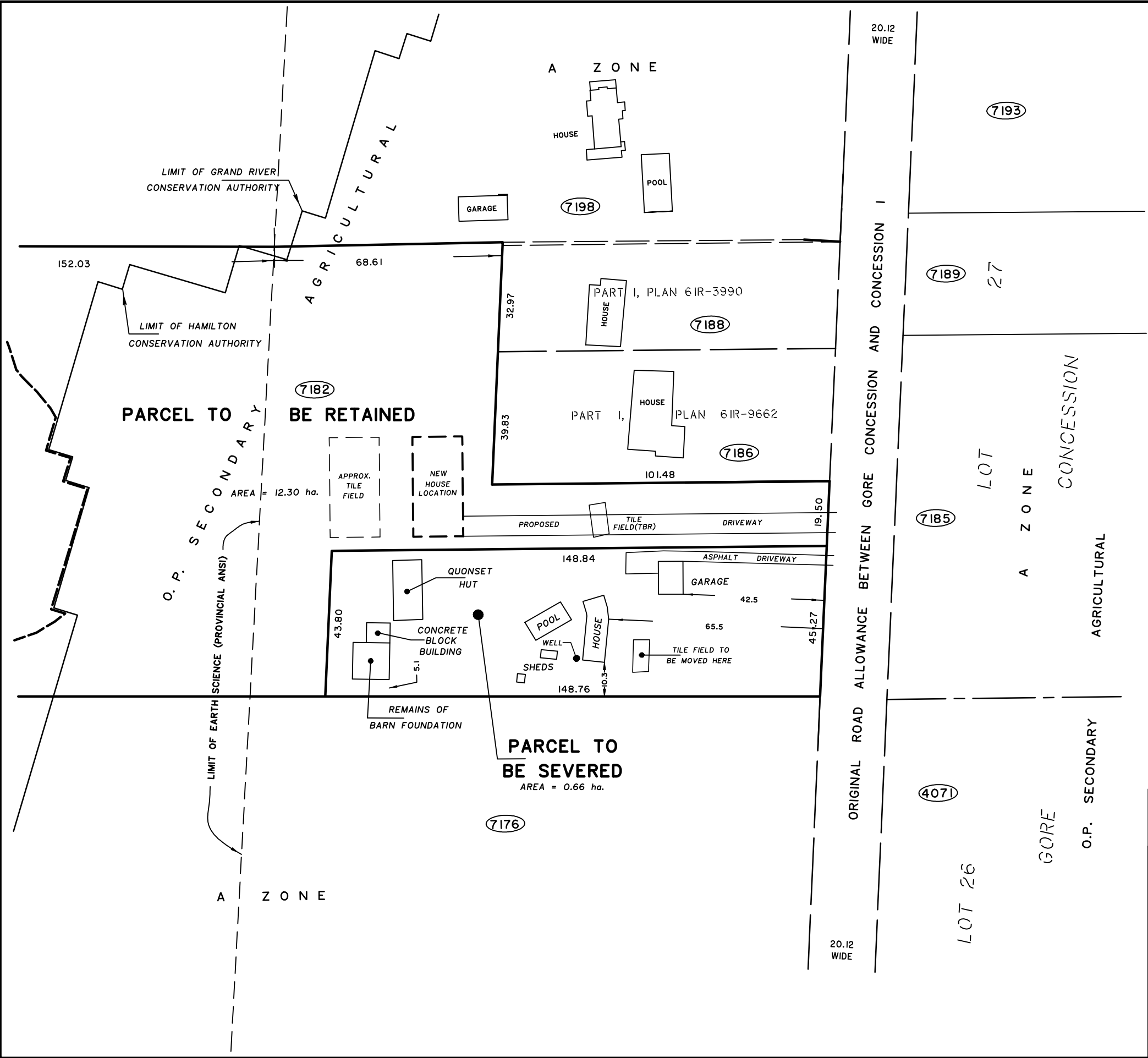
BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED


Nancy Shoemaker, B.A.A., M.C.I.P., R.P.P.

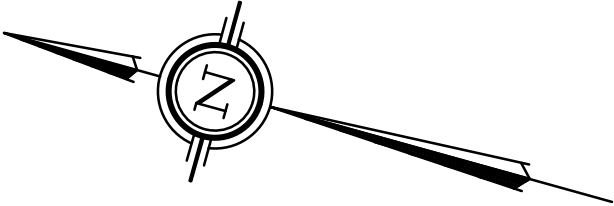
Attachments

Copy: George and Dorothy Harris

Surveying | Mapping | GIS
Unit 101- 257 Woodlawn Road West | Guelph | Ontario | N1H 8J1
T: [519] 822-4031 | F: [519] 822-1220
www.jdbarnes.com



SKETCH
PREPARED FOR MINOR VARIANCE
TOWNSHIP OF PUSLINCH
COUNTY OF WELLINGTON
SCALE 1:1250



© 2020 NO PERSON MAY COPY, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED.



BSR&D
ONTARIO LAND SURVEYORS
URBAN & RURAL PLANNERS
A wholly owned subsidiary of J.D. Barnes Ltd.

SURVEYING
MAPPING
GIS

257 WOODLAWN ROAD WEST #101, GUELPH, ON N1H 8J1
T: (519) 822-4031 F: (519) 822-1220 www.jdbarnes.com

DRAWN BY: KS	CHECKED BY:	REFERENCE NO.: 20-14-102-00-B
FILE: G:\20-14-102\00\201410200B.dwg		DATED: AUGUST 4, 2020

WELLINGTON COUNTY OFFICIAL PLAN DESIGNATION:

RETAINED PARCEL: SECONDARY AGRICULTURAL, CORE GREENLANDS & GREENLANDS
SEVERED PARCEL: SECONDARY AGRICULTURAL
THIS PROPERTY IS SITUATED WITHIN THE PARIS GALT MORaine POLICY AREA
THIS PROPERTY IS SITUATED WITHIN THE GRAND RIVER SOURCE PROTECTION PLAN AND THE HALTON-HAMILTON SOURCE PROTECTION PLAN.

TOWNSHIP ZONING DESIGNATION:

SEVERED PARCEL: AGRICULTURAL (A)
RETAINED PARCEL: AGRICULTURAL (A) & NATURAL ENVIRONMENT (NE)

SCALE 1:2500

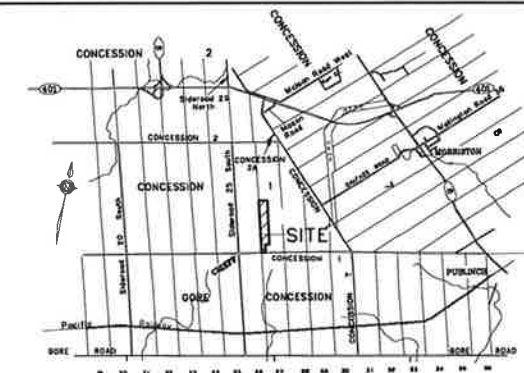


METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

CAUTION: THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK.

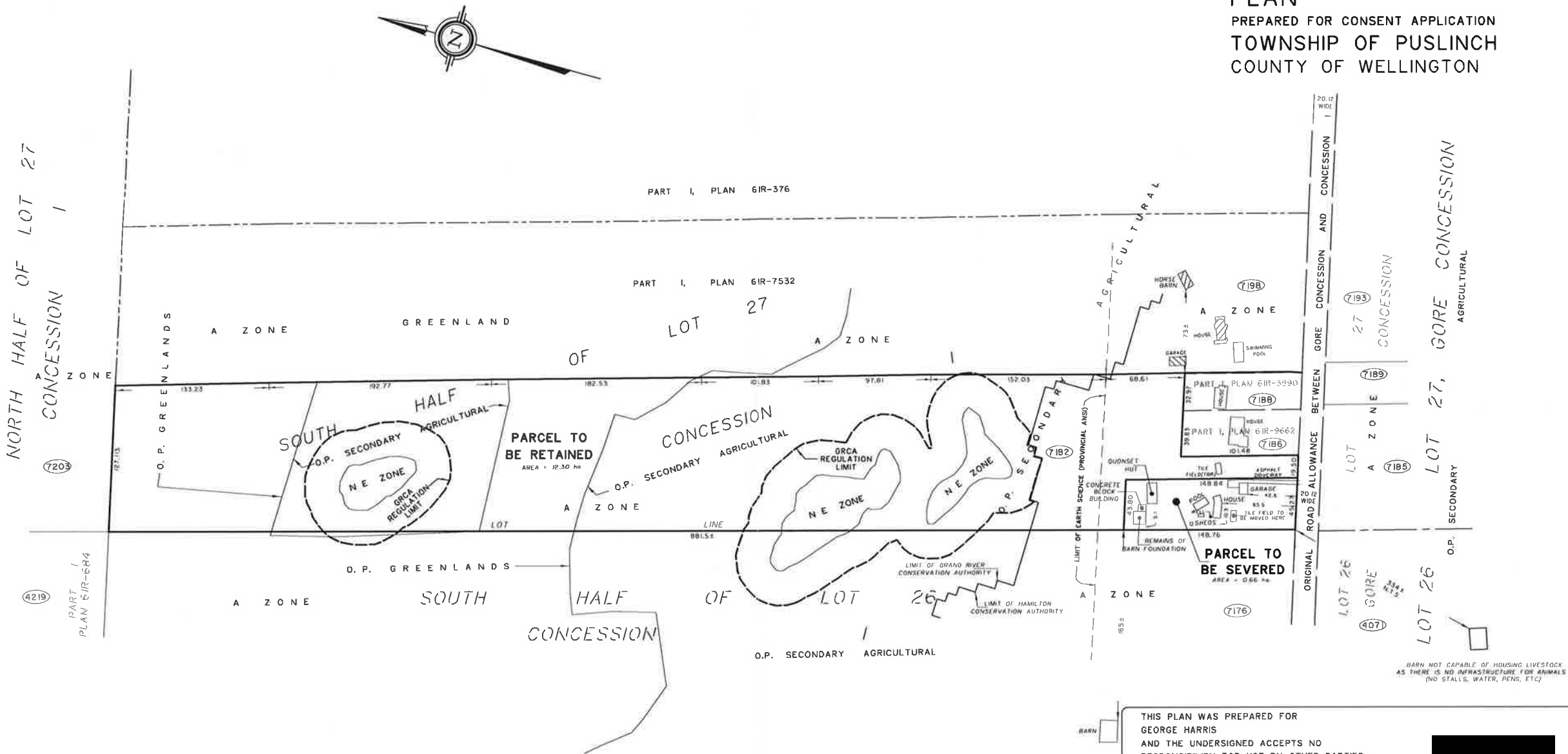
NOTES:

1. BOUNDARY INFORMATION AND AREAS SHOWN ON THIS PLAN HAVE BEEN COMPILED FROM A COMBINATION OF REGISTRY OFFICE RECORDS AND OLD SURVEYS AND IS SUBJECT TO VERIFICATION BY A COMPLETE UP-TO-DATE FIELD SURVEY.



KEY PLAN
NOT TO SCALE

PLAN
PREPARED FOR CONSENT APPLICATION
TOWNSHIP OF PUSLINCH
COUNTY OF WELLINGTON



LEGEND:

- 5674 DUNDIES MUNICIPAL ADDRESS
- DUNDIES WETLANDS (FROM GRCA MAPPING) & CORE GREENLANDS

THIS PLAN WAS PREPARED FOR
GEORGE HARRIS
AND THE UNDERSIGNED ACCEPTS NO
RESPONSIBILITY FOR USE BY OTHER PARTIES.

LEO LIU
ONTARIO LAND SURVEYOR

© COPYRIGHT 2020: REPRODUCTION, DISTRIBUTION OR ALTERATION OF THIS PLAN, IN WHOLE OR IN PART, WITHOUT THE WRITTEN PERMISSION OF BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED IS STRICTLY PROHIBITED.

BLACK, SHOEMAKER, ROBINSON & DONALDSON
LIMITED

BSR&D Ontario Land Surveyors
Urban and Rural Planners
A wholly owned subsidiary of J.D.Barnes Ltd.

WWW.BSRD.COM

101-257 Woodlawn Rd. W.
Guelph, Ontario N1H 8J1

FAX: (519) 822-1220
TEL: (519) 822-4031

DATE: FEBRUARY 24, 2020

KS

PROJECT 20-14-102-00-A



UPPER GRAND DISTRICT SCHOOL BOARD

Planning Department

Board Office: 500 Victoria Road N. Guelph, ON N1E 6K2

Email: municipal.circulations@ugdsb.on.ca

Tel: 519-822-4420 ext. 821 or Toll Free: 1-800-321-4025

26 August 2020

PLN: 20-063
File Code : R14

Lynne Banks
Development and Legislative Coordinator
Township of Puslinch
7404 Wellington Road 34
Puslinch, ON N0B 2J0

Dear Ms. Banks;

**Re: D13/HAR
7182 Concession 1, Puslinch**

Planning staff at the Upper Grand District School Board has received and reviewed the above noted application for a proposed minor variance.

The effect of the application is to provide relief from Comprehensive Zoning By-law 23-2018 to permit a reduced lot frontage of the retained parcel to be 19.5 metres instead of 120 metres as required.

Please be advised that the Planning Department **does not object** to the proposed application, subject to the following condition:

- That Education Development Charges shall be collected prior to the issuance of a building permit(s).

Sincerely,

Upper Grand District School Board



Heather Imm, RPP
Senior Planner
heather.imm@ugdsb.on.ca

Upper Grand District School Board

• Martha MacNeil; Chair
• Mark Bailey

• Barbara Lustgarten Evoy; Vice-Chair
• Jen Edwards

• Jolly Bedi
• Mike Foley

• Linda Busuttil
• Robin Ross

• Gail Campbell
• Lynn Topping



PLANNING REPORT for the TOWNSHIP OF PUSLINCH

Prepared by the County of Wellington Planning and Development Department

DATE: September 8, 2020
TO: Lynne Banks, Secretary-Treasurer
Township of Puslinch
FROM: Meagan Ferris, Senior Planner
County of Wellington
SUBJECT: **MINOR VARIANCE APPLICATION D13/HAR (Dorothy Lou & George Howard Harris)**
7182 Concession 1
South Half of Lot 27, Concession 1

We have reviewed the application for minor variance and provide the following comments. These comments are offered without the benefit of a site visit.

Planning Opinion

The variance requested would provide relief from Section 11.3 of the Zoning By-law requesting permission for a reduction in minimum lot frontage. A lot frontage of 19.5 metres (63.9 feet) is proposed whereas the by-law requires a minimum lot frontage of 120 metres (393.7 feet) for properties that are greater than 4 hectares in size.

This application is related to consent application **B27/20**, which was previously deferred, and will be heard at the September 10th, 2020 Land Division Committee meeting. The related consent seeks to create a new 0.66 ha (1.63 ac) rural residential lot, containing all of the existing structures including a dwelling and associated accessory structures, and retain a vacant parcel of land approximately 12.3 ha (30.4 ac) in size.

The Planning Development Advisory Committee commented on consent application B27/20 at the July 14th 2020 meeting and although were generally in support, requested that the application be deferred until such time that the minor variance application is considered by the Committee of Adjustment. As such, the variance is being considered prior to the consent application being heard by the County Land Division Committee. PDAC also imposed conditions for the consent, including: an entrance permit be approved; that the owner apply for and receive a minor variance; MDS confirmation; and confirmation that the conservation authority requirements are met.

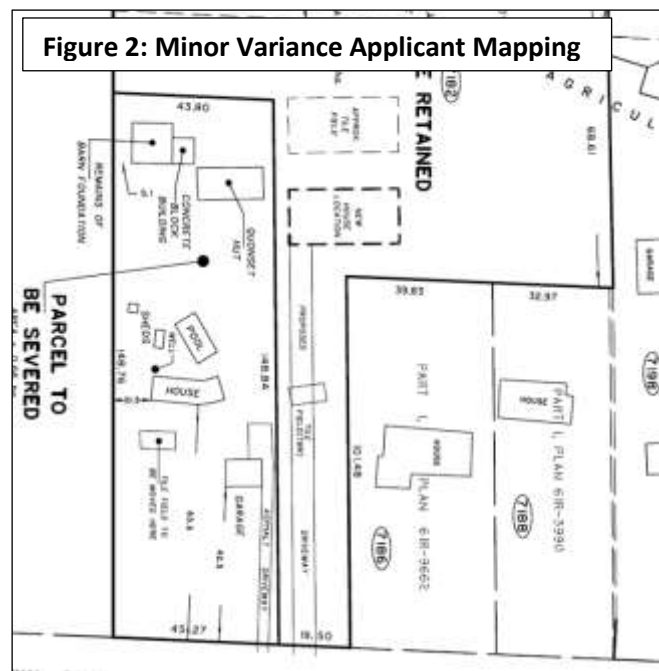
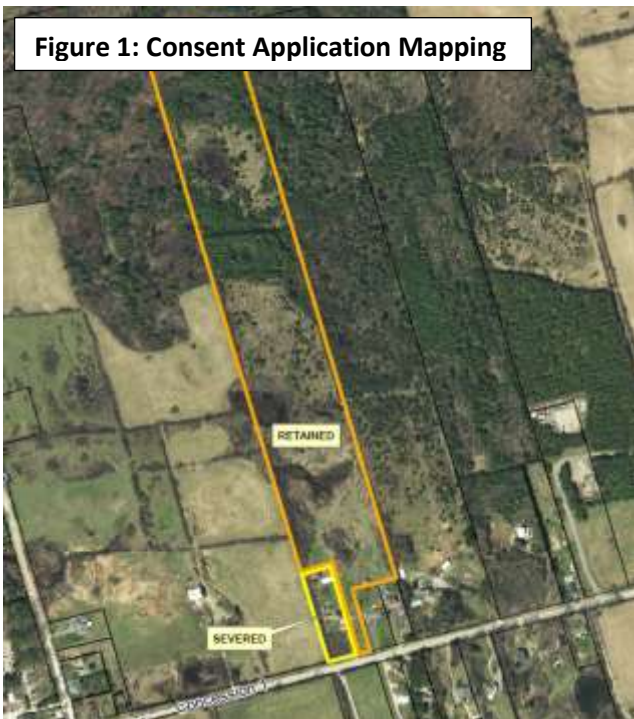
County planning staff have reviewed consent application B27/20 and are generally satisfied that the proposal meets the criteria within the County Official Plan for lot creation in the Secondary Agriculture designation. In regards to MDS, information provided has been reviewed by County staff and it has been identified through the consent process that there are no concerns. Further, comments received from the conservation authorities express no objections.

County Planning staff also notes that the subject lands currently do not meet the minimum 120 metres (393.7 feet) lot frontage requirements and that the reduced lot frontage relief is directly related to a consent application that seeks to create one rural residential lot as permitted within the Secondary Agricultural designation. It is further noted that the lot frontage for the subject lands will be smaller than most lots within the area; however, a new entrance and permit would be required as a condition of consent. The Committee should be satisfied that safe access and egress can be addressed. At the time of writing this report, no comments were received by planning from the public.

Planning staff is satisfied that the subject application is minor in nature, maintains the intent and purpose of the County Official Plan and the Township's Zoning By-law, and represents desirable and appropriate development provided that an entrance permit from the Township is approved.

Proposal:

Regulation	By-law Section	Required	Proposed
Agricultural Zone Requirements, Frontage	11.3	The by-law requires a minimum lot frontage of 120 metres for properties greater than 4 hectares.	Requesting a lot frontage of 19.5 metres.



Our discussion of this application relative to the four tests under the *Planning Act* is as follows:

Four Tests	Discussion
That the requested variance is minor in nature	<ul style="list-style-type: none"> The minimum lot area is met for both the severed and retained parcel. The frontage on the proposed severed parcel is also met and is proposed to be 45.27 metres (148.5 feet). There is appropriate access maintained for the severed parcel via the existing driveway; however, a new driveway and entrance will be required for the retained lands. If the retained lands were less than 4 hectares, the required minimum lot frontage would be 25 metres. The existing location of the dwelling, accessory structures and driveway, coupled with the proposed consent lot configuration, directly limit the opportunity to increase the lot frontage for the retained lands. The impacts of this variance is considered minor.
That the intent and purpose of the Zoning By-law is maintained	<ul style="list-style-type: none"> The subject lands are zoned Agricultural (A) and a portion is identified a 'Natural Environment (NE) Zone and subject to the Environmental Protection Overlay (EP) zone. A farm and a singled detached dwelling is a permitted use within the

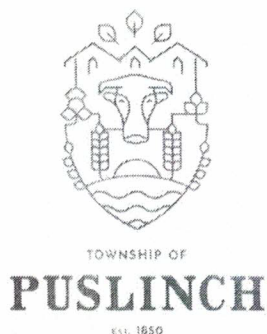
	<p>Agricultural (A) zone.</p> <ul style="list-style-type: none"> The requirement for a 120 metres (393.7 feet) lot frontage for an agricultural property is partially due to historical lot configuration and sizes; however, the overall intent of lot frontage is to maintain safe access and provide some separation between uses.
That the general intent and purpose of the Official Plan is maintained	<ul style="list-style-type: none"> The subject property is designated Secondary Agricultural and Greenlands in the County Official Plan. A single detached dwelling and an agricultural operation are permitted within the Secondary Agriculture designation. The subject lands are permitted one rural residential lot within the Secondary Agriculture designation.
That the variance is desirable for the appropriate development and use of the land, building or structure	<ul style="list-style-type: none"> The reduced frontage for the retained parcel will be created as a result of a related consent, if approved. The intent of the consent is to sever the existing dwelling, accessory structures and driveway. The proposed lot frontage reduction will be smaller than most existing lot frontages within the area; however, it is noted that without the severance the subject lands were previously deficient in lot frontage. The primary intent of the minimum lot frontage is to ensure that a safe entrance/access is available to a site. The retained lot meets the minimum lot area requirement for the Agricultural (A) zone. The Committee should be satisfied that safe access to and from the site can be achieved for both motor vehicle and agricultural equipment. As a condition of the related consent application a new entrance permit will need to be approved by the Township, which will address any potential concerns regarding safety.

In conclusion, planning staff is of the opinion that the requested variance application **meets the four tests** of the *Planning Act* provided that safe access to the site can be achieved through the approval of an entrance permit from the Township. I trust that these comments will be of assistance to the Committee in their consideration of this matter. We would appreciate a copy of the Committee's decision with respect to this application.

Respectfully submitted
County of Wellington Planning and Development Department



Meagan Ferris, RPP MCIP
Senior Planner



Township of Puslinch
7404 Wellington Road 34
Puslinch, ON, N0B 2J0
T: (519) 763 – 1226
F: (519) 763 – 5846
www.puslinch.ca

Minor Variance or Permission Application

General Information:

1. Applicant Information:

Registered Owner's Name(s): Kuldeep Singh, Harmonjot Grewal, Navkiranpreet Kaur

Address: 10 Whetstone Crescent

City: GUELPH

Postal Code: N1L 1T3

E-mail Address: [REDACTED]

Telephone Number: [REDACTED]

Fax: _____

Applicant (Agent) Name(s): PETER VOZIKAS

Address: 5 NORTH RIDGE CRESCENT

City: GEORGETOWN

Postal Code: L7G 6E7

E-mail Address: VOZKKASS@HOTMAIL.COM

Telephone Number: 416-500-8989

Fax: _____

Name, address, and phone number of all persons having any mortgages, charges, or encumbrances on the property.

Scotia Bank, 66 Quarry Edge Dr., Brampton ON L6V 4K2 - 905-451-8865

Send correspondence to: Owner: ☐ Agent ☒ Other: _____

2. Provide a description of the "entire" property:

Municipal address: 0 WELLINGTON ROAD #34

Concession: 3 Lot: PT OF LOT 14

Registered Plan Number: 61R-21417

Area: 0.4 ha Depth: 121.67 m Frontage: 32.12 m
_____ ac _____ ft _____ ft

Width of road allowance (if known): _____

Reason for Application:

3. Please indicate the Section of the Planning Act under which this application is being made. Select one:

☒ Section 45(1) relates to a change to a by-law standard (e.g. setbacks, frontage, height, etc.); or

☐ Section 45(2) relates to a change to or expansion of an existing legal non-conforming use.

4. What is the nature and extent of the relief that is being applied for? (please specifically indicate on sketch).

TO ALLOW THE PROPOSAL OF A NEW SINGLE FAMILY DWELLING TO BE CONSTRUCTED HAVING A HEIGHT OF 12.5m

**5. Why is it not possible to comply with the provisions of the by-law?
(please specifically indicate on sketch).**

THE PROPOSED DWELLING IS DESIGNED WITH 11'-0" MAIN FLOOR AND 9'-6" SECOND FLOOR, BY REDUCING THE ROOF HEIGHT TO MEET 10.0M HEIGHT REQUIREMENT WILL PRODUCE A FLAT ROOF OVER THE DWELLING. THE PREVIOUS BYLAW ALLOWED FOR 12.0M HEIGHT AND WE INTEND TO CONFORM CLOSELY TO THE PREVIOUS BYLAW AS THE MAJORITY OF ALL HOMES IN THE AREA ALL FIT WITHIN THE 12.0M HEIGHT.

6. What is the current Official Plan and zoning status?

Official Plan Designation: RURAL RESIDENTIAL

Zoning Designation: 'A'

7. What is the access to the subject property?

Provincial Highway: ☐

Continually maintained municipal road: ☒

Seasonally maintained municipal road: ☐

Other: ☐ (please specify below)

8. What is the name of the road or street that provides access to the subject property?

WELLINGTON ROAD #34

9. If access is by water only, please describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land to the nearest public road.

Existing and Proposed Service:

10. Indicate the applicable water supply and sewage disposal:

Water Supply/Sewage Disposal:	Existing:	Proposed:
Municipal Water:	<input type="checkbox"/>	<input type="checkbox"/>
Communal Water:	<input type="checkbox"/>	<input type="checkbox"/>
Private Well:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Other Water Supply:	<input type="checkbox"/>	<input type="checkbox"/>
Municipal Sewers:	<input type="checkbox"/>	<input type="checkbox"/>
Communal Sewers:	<input type="checkbox"/>	<input type="checkbox"/>
Private Septic:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Other Sewage Disposal:	<input type="checkbox"/>	<input type="checkbox"/>

11. How is storm drainage provided?

Storm Sewers: ☐

Ditches: ☒

Swales: ☐

Other means: ☐ (explain below)

--

Existing Subject and Abutting Property Land Uses, Buildings and their Locations:

12. What is the existing use of:

The subject property? RESIDENTIAL

The abutting properties? RESIDENTIAL

13. Provide the following details for all buildings on or proposed for the subject land: (please use a separate page if necessary)

Type of Building(s)/ structures	PROPOSED		
Main Building height	12.5 m	ft.	m ft.
*Percentage lot coverage	10.97 m	ft.	m ft.
*Number of parking spaces	4		
*Number of loading spaces	0		
Number of floors	2		
Total floor area	569.69 m ²	ft ²	m ² ft ²
Ground floor area (exclude basement)	305.65 m ²	ft ²	m ² ft ²

14. What is the location of all buildings existing and proposed for the subject property? (specify distances from front, rear and side lot lines)

Front Yard	74.87 m	ft.	m	ft.
Rear Yard	19.54 m	ft.	m	ft.
Side Yards	3.05 m	ft.	8.93 m	ft.

15. What are the dates of acquisition and construction of subject property and building property?

Date of acquisition of subject property: April 26, 2019

Date of construction of buildings property: N/A

16. How long have the existing uses continued on the subject property? Unknown

17. Has the owner previously applied for relief in respect of the subject property?

Yes ☐ No ☒

If the answer is yes, please indicate the file number and describe briefly:

Other Related Planning Applications:

18. Has an application for any of the following on the subject lands?

Planning Application:	Yes:	No:	File Number:	Approval Authority:	Subject Lands	Purpose:	Status:
Official Plan Amendment	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Zoning By-Law Amendment	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Plan of Subdivision	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Consent (Severance)							
Site Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Minor Variance	<input type="checkbox"/>	<input checked="" type="checkbox"/>					

Authorization for Agent/Solicitor to act for Owner:

(If affidavit is signed by an Agent/Solicitor on Owner's behalf, the Owner's written authorization below shall be completed)

I (we) Harman Grewal of the
City of Guelph County/Region of
Wellington do hereby authorize

PETER VOZIKAS to act as my agent in this application.



Signature of Owner(s)

JULY 6, 2020

Date

Affidavit:

I (we) PETER VOZIKAS of the
TOWN of HALTON HILLS County/Region of
HALTON solemnly declare that all the statements

contained in this application are true, and I, (we), make this solemn declaration
conscientiously believing it to be true, and knowing that it is of the same force and effect
as if made under oath and by virtue of the CANADA EVIDENCE ACT. DECLARED

before me at the TOWN of PUSLINCH in the
County/Region of WELLINGTON this 20th day of

July, 2020

Sig
soli



authorized

July 20, 2020
Date



Signature of Commissioner

July 20/2020
Date

Agreement to Post Sign and Permit Site Visits:

A form is included in the Zoning By-law Amendment application to agree to erect a sign on the subject lands and to permit Township employees/representatives to enter the lands for site visits.

The applicant is required to erect and maintain a sign on the proposed lands within one week of the application being deemed complete by staff and to remove the sign when the application has been given final approval. The sign shall be a minimum of 1.2 x 1.2 metres on posts 0.5 metres above grade and include the following wording to be approved by Township staff:

A PROPOSAL HAS BEEN MADE
ON THIS SITE FOR: (50 mm text height)
A ZONING BY-LAW AMENDMENT TO xxx (100 mm text height)
FOR FURTHER INFORMATION
PLEASE CONTACT THE TOWNSHIP OF PUSLINCH 7404 WELLINGTON ROAD 34
(519) 763 - 1226 (30-50 mm text height)

For Administrative Purposes Only:

Application fee of \$_____ received by the municipality

Date Fee Received: _____

Date Application Filed: _____

File Number: _____

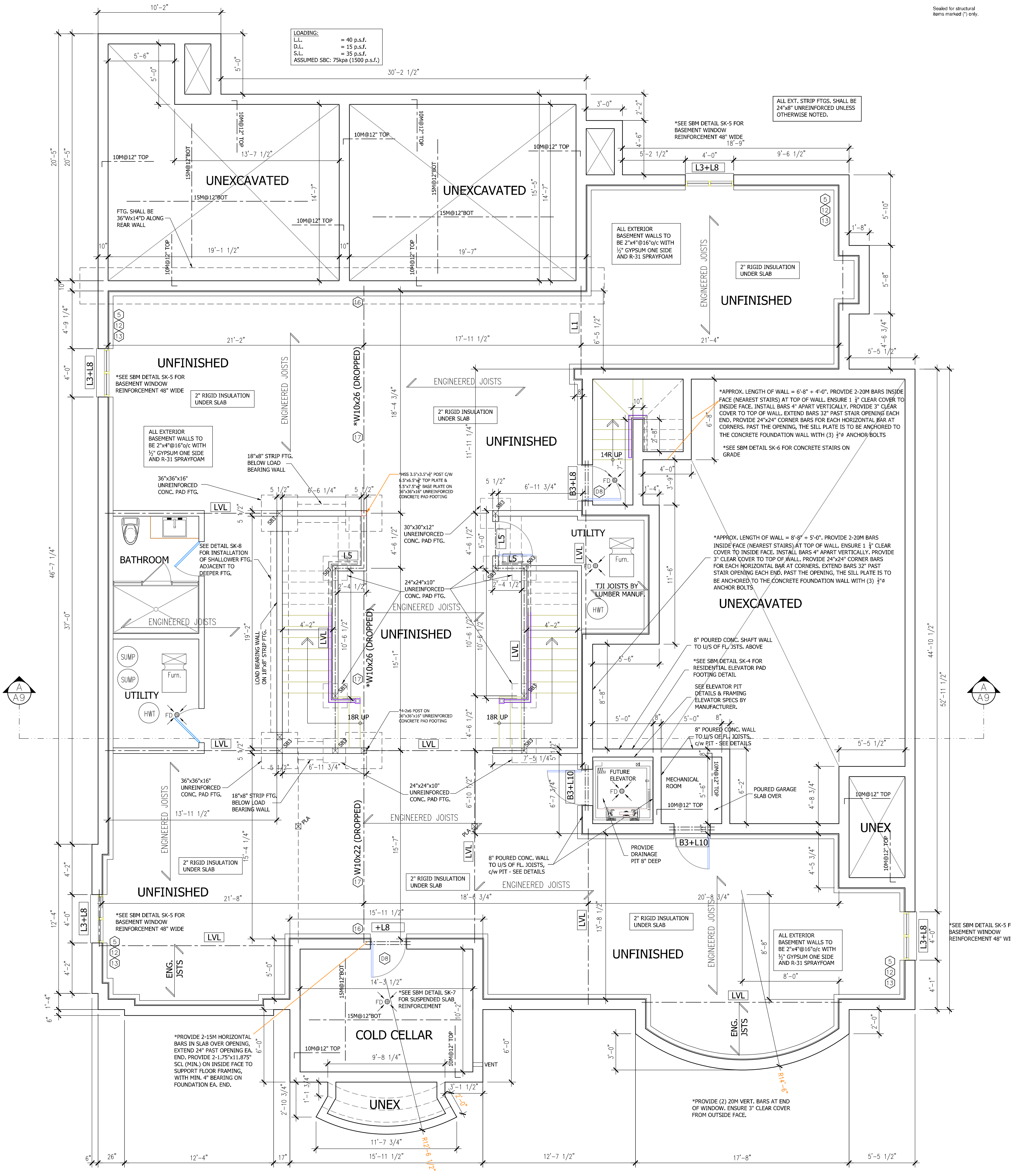
Application deemed complete: _____

Signature of Municipal Employee

Date

Personal information on this form is collected under the authority of the Planning Act. The information is used for the purpose of processing this application and administering the legislation and is maintained in accordance with the Municipal Freedom of Information and Protection of Privacy Act. Questions regarding the collection of this information may be directed to the Township Clerk's office.

The Township of Puslinch is committed to providing accessible formats and communication supports for people with a disability. If another format would work better for you, please contact the Township Clerk's office for assistance.



Revision	No.	By	DD/MM/YY
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF WORK. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR OR SUBCONTRACTOR PROCEED IN UNCERTAINTY. REVIEWED UNDER THE 2012 O.B.C. AS AMENDED			

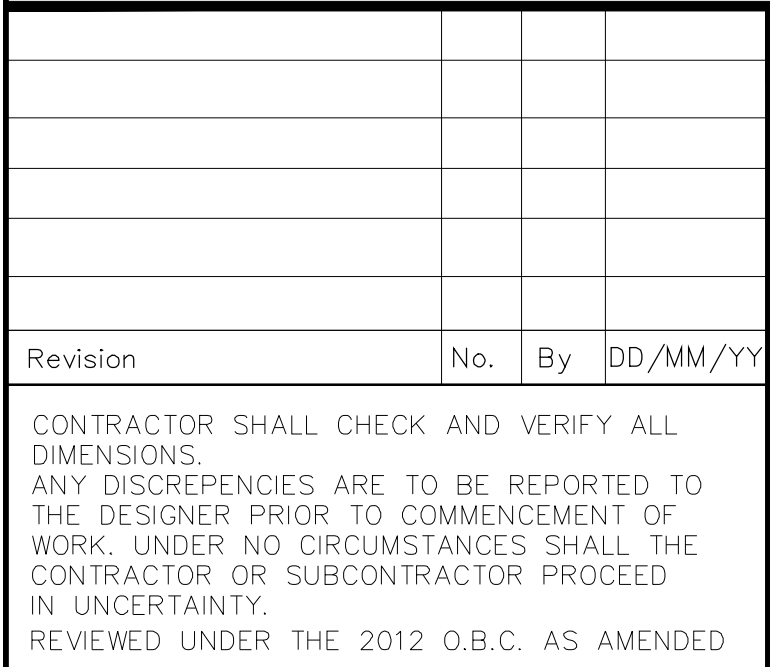
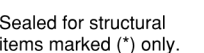
OWNER:
Kuldeep Singh, Harmonjot
Grewal, Navkiranpreet Kaur
10 Whetstone Crescent
Guelph, Ontario
212-215-7870

BCIN
The undersigned has reviewed and takes responsibility for this design and has the qualifications as (other designer) and meets the requirements set out in the Ontario Building Code to be a designer.
Qualification Information:
Required unless design is exempt under Div. C-3.2.5. of the building code.
Designed under 3.2.4.1.(b),(d)
Peter Vozikas 106605
Name BCIN

PROJECT:	NEW SINGLE FAMILY DWELLING		
SHEET TITLE:	BASEMENT FLOOR PLAN		
SCALE:	1/4"=1'-0"	DATE:	SEP./2019
DRAWN BY:	PV	CHECKED BY:	PV
PROJECT NO:		SHEET NO:	A01

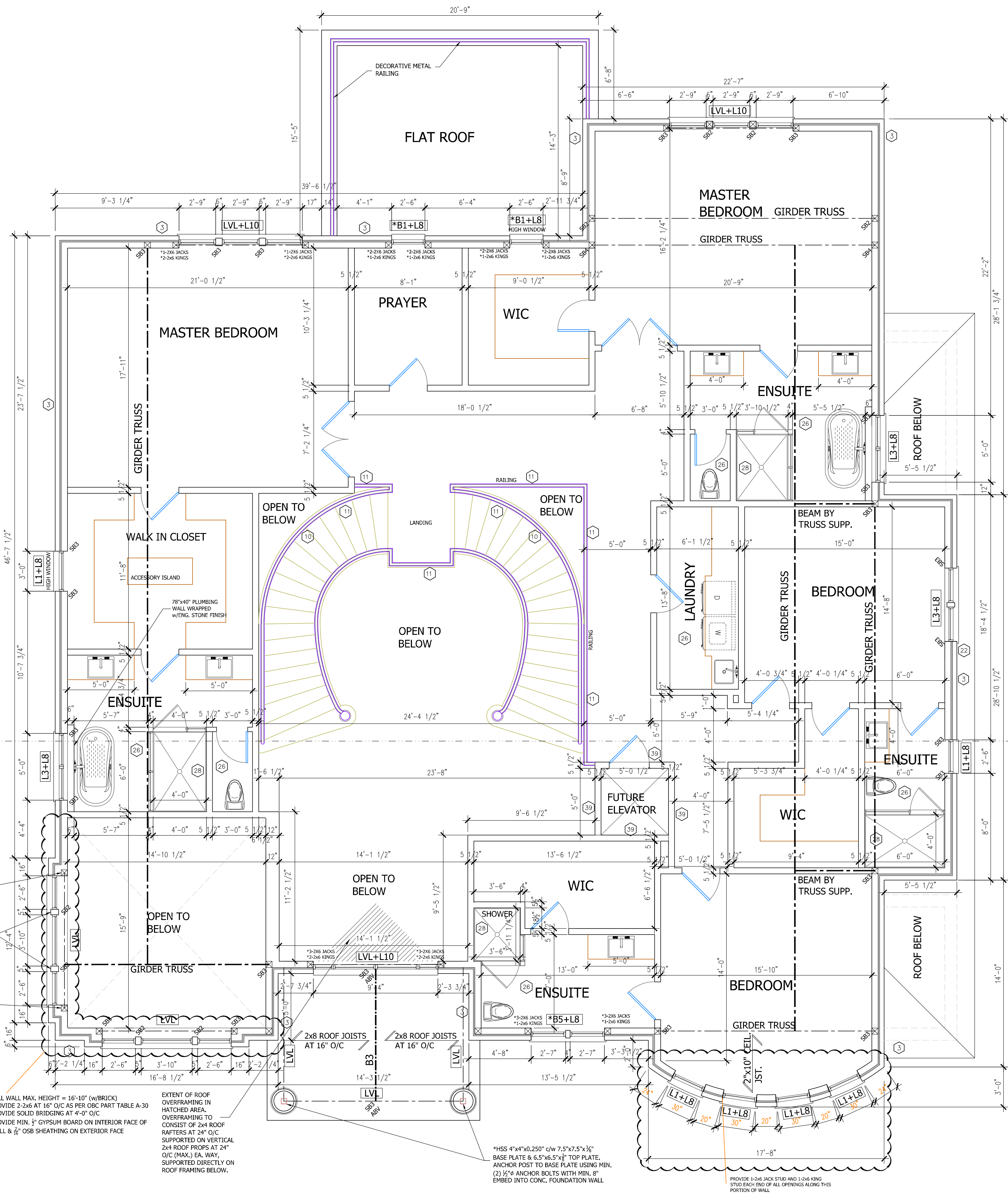
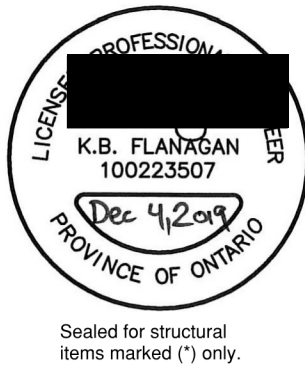


EMPIRE
DESIGN
COMPANY
PETER VOZIKAS
ARCHITECTURAL DESIGNS FOR:
LUXURY RESIDENTIAL & COMMERCIAL SPACE
416-500-8989 VOZIKAS@HOTMAIL.COM
www.empiredesignhomes.com



PROJECT:		NEW SINGLE FAMILY DWELLING	
SHEET TITLE:			
GROUND FLOOR PLAN			
SCALE:	1/4" = 1'-0"	DATE:	SEP./2019
DRAWN BY:	PV	CHECKED BY:	PV
PROJECT NO:		SHEET NO:	A02





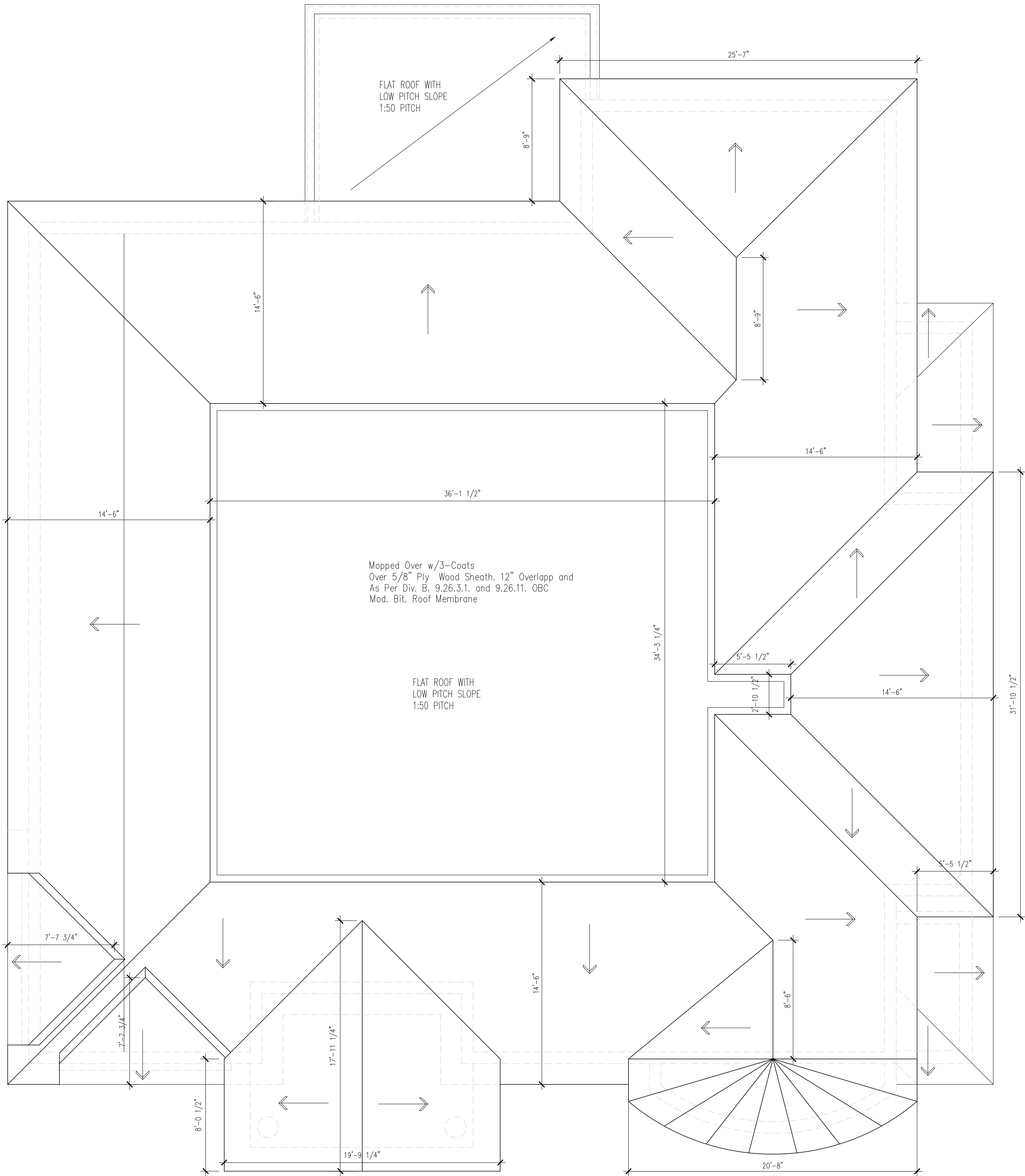
Revision	No.	By	DD/MM/YY
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS.			
ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF WORK. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR OR SUBCONTRACTOR PROCEED IN UNCERTAINTY.			
REVIEWED UNDER THE 2012 O.B.C. AS AMENDED			

OWNER:
Kuldeep Singh, Harmonjot Grewal, Navkiranpreet Kaur
10 Whetstone Crescent
Guelph, Ontario
212-215-7870

BCIN
The undersigned has reviewed and takes responsibility for this design, and has the qualifications as (either designer) and meets the requirements set out in the Ontario Building Code to be a designer.
Qualification information as required under Div. C-1.2.2.5 of the building code. Designed under 3.2.4.1.(b),(d)
Peter Vozikas 106605
Name BCIN

PROJECT:	NEW SINGLE FAMILY DWELLING
SHEET TITLE:	SECOND FLOOR PLAN
SCALE:	1/4" = 1'-0"
DATE:	SEP./2019
DRAWN BY:	PV
CHECKED BY:	PV
PROJECT NO:	
SHEET NO:	A03





Revision	No.	By	DD/MM/YY
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF WORK. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR OR SUBCONTRACTOR PROCEED IN UNCERTAINTY. REVIEWED UNDER THE 2012 O.B.C. AS AMENDED			


OWNER:
Kuldeep Singh, Harmonjot Grewal, Navkiranpreet Kaur
10 Whetstone Crescent
Guelph, Ontario
212-215-7870

**HIRA HOMES**
Builder of Quality Custom Homes

BCIN
The undersigned has reviewed and takes responsibility for this design and has the qualifications as (other designer) and meets the requirements set out in the Ontario Building Code to be a designer.
Qualification information:
Required unless design is exempt under Div. C-3.2.5. of the building code.
Designed under 3.2.4.1.(3),(4)

Peter Vozikas
Name

106605
BCIN

**EMPIRE DESIGN COMPANY**
PETER VOZIKAS
ARCHITECTURAL DESIGNS FOR:
LUXURY RESIDENTIAL & COMMERCIAL SPACE
416-500-8989 VOZIKASS@HOTMAIL.COM
www.empiredesignhomes.com

PROJECT:
NEW SINGLE FAMILY DWELLING

SHEET TITLE:
ROOF PLAN

SCALE:
1/4"=1'-0"

DRAWN BY:
PV

PROJECT NO:

DATE:
SEP./2019

CHECKED BY:
PV

SHEET NO:
A04



PROJECT: NEW SINGLE FAMILY DWELLING

SHEET TITLE: FRONT ELEVATION

SCALE: 1/4" = 1'-0"

DATE: SEP./2019

DRAWN BY: PV

CHECKED BY: PV

PROJECT NO: A05

BCIN
The undersigned has signed and takes responsibility for this design, and has the qualifications as (other designed) and meets the requirements set out in the Ontario Building Code to be a designer.
Required unless design is exempt under Div. C-3.2.6. of the building code.
Designed under 324.13(4)

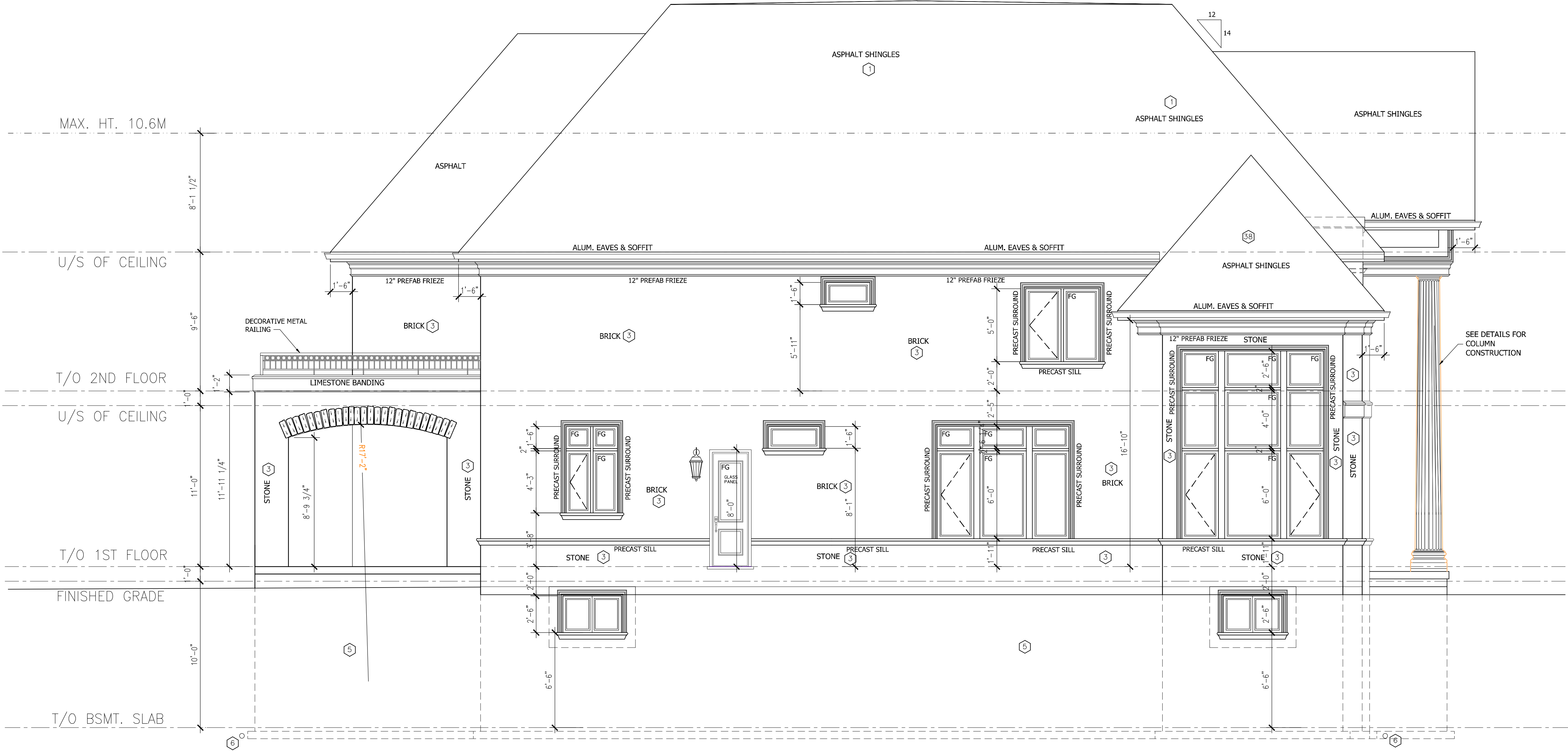
Peter Vozikas
108805
BCIN

EMPIRE DESIGN COMPANY
ARCHITECTURAL DESIGNS FOR:
LUXURY RESIDENTIAL & COMMERCIAL SPACE
416-507-8888
PETER VOZIKAS
VOZIKASDESIGN@GMAIL.COM
www.empiredesign.com

OWNER:
Kuldeep Singh, Harmonjit Grewal, Naviranpreet Kaur
10 Whetstone Crescent
Guelph, Ontario
212-215-7870

HIRA HOMES
Builder of Quality Custom Homes

Revision	No.	By	DD/MM/YY
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF WORK. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR OR SUBCONTRACTOR PROCEED IN UNCERTAINTY.			
REVIEWED UNDER THE 2012 O.B.C. AS AMENDED			



PROJECT:

NEW SINGLE FAMILY DWELLING

SHEET TITLE:

LEFT ELEVATION

SCALE:

1/4" = 1'-0"

DATE:

SEP./2019

DRAWN BY:

PV

CHECKED BY:

PV

PROJECT NO:

SHEET NO:

A06

BCN

The undersigned has accepted and taken responsibility for this design, and has the qualifications as (other designed) and meets the requirements set out in the Ontario Building Code to be a designer. Required unless design is exempt under Div. C-3.2.6. of the building code. Issued under 3241(3)(d)

Peter Vozikas

108805

BCN

EMPIRE DESIGN COMPANY

PETER VOZIKAS

ARCHITECTURAL DESIGNS FOR:

LUXURY RESIDENTIAL & COMMERCIAL SPACE

416-500-8888

VOZIKASDESIGN@GMAIL.COM

www.empiredesign.com

OWNER:

Kuldeep Singh, Harmonjot Grewal, Naviranpreet Kaur

10 Whetstone Crescent

Guelph, Ontario

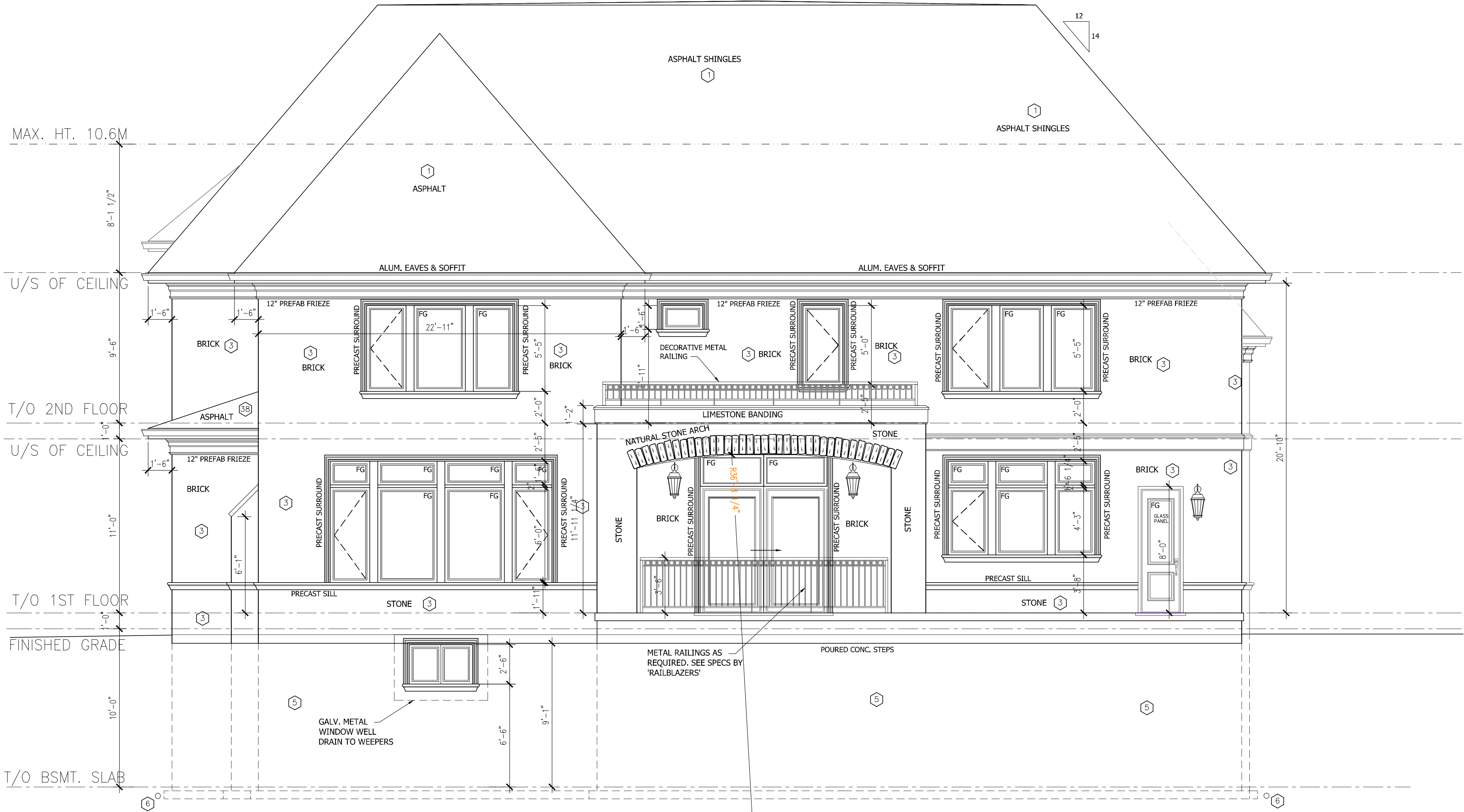
212-215-7870

HIRA HOMES

Builder of Quality Custom Homes

Revision	No.	By	DD/MM/YY

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF WORK. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR OR SUBCONTRACTOR PROCEED IN UNCERTAINTY. REVIEWED UNDER THE 2012 O.B.C. AS AMENDED



PROJECT:

NEW SINGLE FAMILY DWELLING

SHEET TITLE:

REAR ELEVATION

SCALE:

1/4" = 1'-0"

DATE:

SEP./2019

DRAWN BY:

PV

CHECKED BY:

PV

PROJECT NO:

SHEET NO:

A07

BCN

The undersigned has accepted and taken responsibility for this design, and has the qualifications as (other designed) and meets the requirements set out in the Ontario Building Code to be a designer. Required unless design is issued under Div. C-3.2.6, if the building code is designed under 3.2.4.13(4)

Peter Vo

108805

BCN

EMPIRE DESIGN COMPANY

ARCHITECTURAL DESIGNS FOR: PETER VOZKAS
LUXURY RESIDENTIAL & COMMERCIAL SPACE
416-500-8888
PETERVOZKAS@GMAIL.COM
WWW.PETERVOZKAS.COM

OWNER:

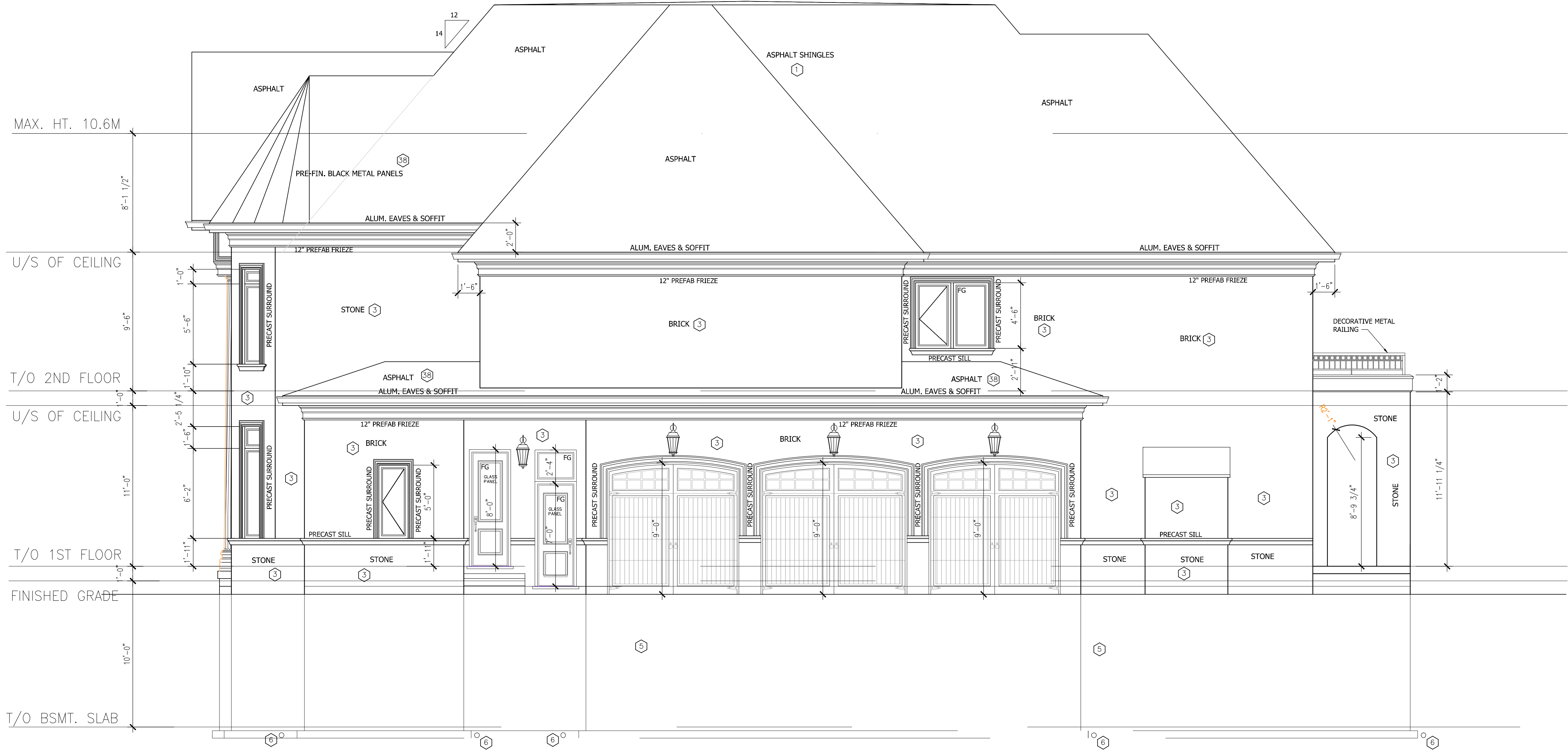
Kuldeep Singh, Harmonjot Grewal, Navkiranpreet Kaur
10 Whetstone Crescent
Guelph, Ontario
212-215-7870

HH HIRA HOMES

Builder of Quality Custom Homes

Revision	No.	By	DD/MM/YY

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF WORK. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR OR SUBCONTRACTOR PROCEED IN UNCERTAINTY. REVIEWED UNDER THE 2012 O.B.C. AS AMENDED



PROJECT: NEW SINGLE FAMILY DWELLING

SHEET TITLE: RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

DATE: SEP./2019

DRAWN BY: PV

CHECKED BY: PV

PROJECT NO:

SHEET NO: A08

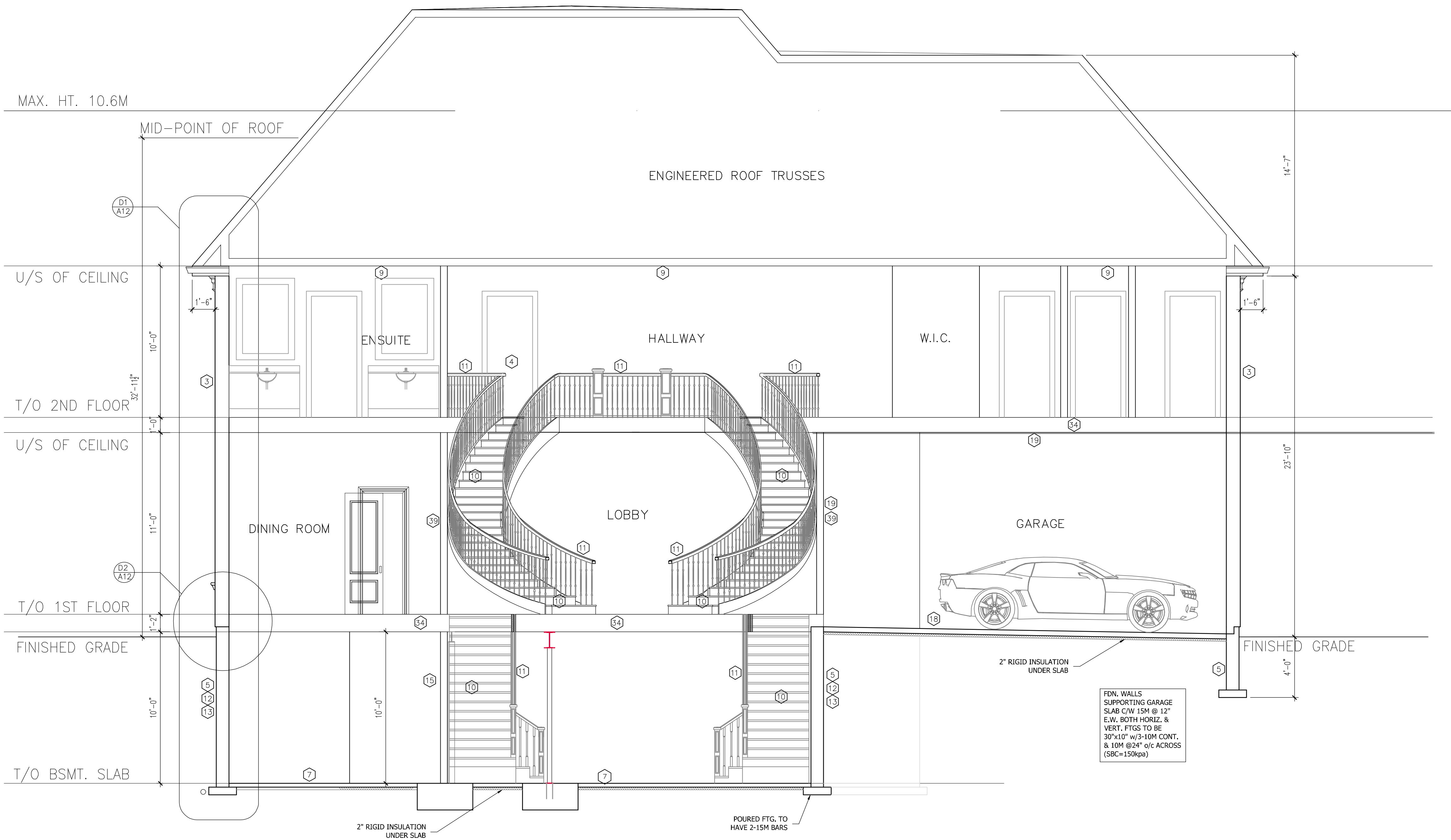
BCIN
The undersigned has assumed and takes responsibility for this design, and has the qualifications as (other designed) and meets the requirements set out in the Ontario Building Code to be a designer.
Required unless design is exempt under Div. C-3.2.6. of the building code.
Designated under 3.2.4.13.00
Peter Vo
10805
BCIN

EMPIRE DESIGN COMPANY
ARCHITECTURAL & COMMERCIAL SPACE
LUXURY RESIDENTIAL & COMMERCIAL SPACE
PETER VOZKAS
416-500-8888
400-888-8888
www.empiredesign.com

OWNER:
Kuldeep Singh, Harmonjot
Grewal, Navkiranpreet Kaur
10 Whetstone Crescent
Guelph, Ontario
212-215-7870

HIRA HOMES
Builder of Quality Custom Homes

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF WORK. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR OR SUBCONTRACTOR PROCEED IN UNCERTAINTY.
REVIEWED UNDER THE 2012 O.B.C. AS AMENDED



Revision	No.	By	DD/MM/YY
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS. ANY DISCREPENCIES ARE TO BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF WORK. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR OR SUBCONTRACTOR PROCEED IN UNCERTAINTY. REVIEWED UNDER THE 2012 O.B.C. AS AMENDED			



The undersigned has reviewed and takes responsibility for this design, and has the qualifications as (other designer) and meets the requirements set out in the Ontario Building Code to be a designer.

Qualification information
Required unless design is exempt under Div. C-3.2.5, of the building code.
Designed under 3.2.4.1.(3),(4)

Peter Vozikas 106605
Name Signature BCIN

DESIGNER:

EMPIRE
DESIGN
COMPANY

PETER VOZIKAS
ARCHITECTURAL DESIGNS FOR:
LUXURY RESIDENTIAL & COMMERCIAL SPACE
416-500-8989 VOZKKASS@HOTMAIL.COM
www.empiredesignhomes.com

OWNER:

Kuldeep Singh, Harmonjot
Grewal, Navkiranpreet Kaur
10 Whetstone Crescent
Guelph, Ontario
212-215-7870

PROJECT:
NEW SINGLE FAMILY
DWELLING

SHEET TITLE:
RIGHT ELEVATION

SCALE: 1/4"=1'-0"	DATE: SEP./2019
DRAWN BY: PV	CHECKED BY: PV
PROJECT NO:	SHEET NO: A09

1. ROOF CONSTRUCTION

N0.210 (10.25kg/m2) ASPHALT SHINGLES, 13mm (1/2") PLYWOOD SHEATHING WITH "J" CLIPS. APPROVED WOOD TRUSSES @ 600mm (24") O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 300mm (3'-0") FROM EDGE OF ROOF AND MIN. 300mm (12") BEYOND INNER FACE OF EXTERIOR WALL, 38x89 (2"x4") TRUSS BRACING @ 1830mm (6'-0") O.C. AT BOTTOM CHORD, PREFIN. ALUM. EAVESTROUGH, FASCIA, RVL & VENTED SOFFIT. ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT EAVES.

2. FRAME WALL CONSTRUCTION (2"x6")

STUCCO OR SIDING AS PER ELEVATION, APPROVED SHEATHING PAPER, 13mm (1/2") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 4.22 (R24) INSULATION AND APPROVED VAPOUR BARRIER AND APPROVED CONT. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH.

2A. FRAME WALL CONSTRUCTION (2"x4")

SIDING AS PER ELEVATION, APPROVED SHEATHING PAPER, RSI 0.9 (R5) EXTERIOR RIGID INSUL. BOARD, 38x89 (2"x4") STUDS @ 400mm (16") O.C., WITH APPROVED DIAGONAL WALL BRACING, FOR LOAD BEARING WALLS SUPPORTING A SECOND FLOOR & A ROOF 38x89 (2"x4") STUDS @ 400mm (16") O.C. FOR LOAD BEARING WALL. SUPPORTING ROOF ONLY, WITH APPROVED DIAGONAL WALL BRACING, RSI 2.4 (R14) INSULATION AND APPROVED VAPOUR BARRIER AND APPROVED CONT. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH.

3. BRICK VENEER CONSTRUCTION (2"x6")

90mm (4") FACE BRICK OR STONE 25mm (1") AIR SPACE, 22x180x0.76mm (7/8"x7"x0.03") GALVANIZED METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPROVED SHEATHING PAPER, 13mm (1/2") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 406mm (16") O.C., RSI 4.22 (R24) INSULATION AND APPROVED VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER.

3A. BRICK VENEER CONSTRUCTION (2"x4")

90mm (4") FACE BRICK 25mm (1") AIR SPACE, 22x180x0.76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPROVED SHEATHING PAPER, RSI 0.9 (R5) EXT. RIGID INSUL. BOARD, 38x89 (2"x4") STUDS @ 400mm (16") O.C. W/ APPROVED DIAGONAL WALL BRACING, FOR LOAD BEARING WALLS SUPPORTING A ROOF & A SECOND 38x89 (2"x4") STUDS @ 406mm (16") O.C. W/ APPROVED DIAGONAL WALL BRACING, RSI 3.51 (R20) INSUL. AND APP'RD 6 mil. VAPOUR BARRIER W/ APPROVED CONT. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER.

4. INTERIOR STUD PARTITIONS

-BEARING PARTITIONS 38x89 (2"x4") @ 400mm (16") O.C. FOR 2 STOREYS AND 300mm (12") O.C. FOR 3 STOREYS. NON-BEARING PARTITIONS 38x89 (2"x4") @ 600mm (24") O.C. PROVIDE 38x89 (2"x4") BOTTOM PLATE AND 2/38x89 (2-2"x4") TOP PLATE. 13mm (1/2") INTERIOR DRYWALL BOTH SIDES OF STUD, PROVIDE 38x140 (2"x6") @ 406mm (16") O.C. STUDS/PLATES WHERE NOTED. NON BEARING PARTITIONS 38x89 (2"x4") OR 38x140 (2"x6") @ 406mm (16") O.C.

5. FOUNDATION WALL /FOOTINGS: -SEE OBC 9.15.3-

250mm (10") POURED CONC. FDTN. WALL 32MPa WITH BITUMENOUS DAMPPROOFING AND DRAINAGE LAYER. DRAINAGE LAYER RED BASEMENT INSUL. MUST EXTEND FULL HEIGHT OF FND. WALL. GRADE. MAXIMUM POUR HEIGHT 2895 (9'-6") ON 500x200 (22"x8") CONTIN. KEYED CONC. FTG. BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL 75kpa. 15M BARS @24"/c VERT. AND 3 ROWS OF 15M BARS HORIZ. WITH 2-15M BARS AT TOP

6. 100mm (4") DIA. WEEPING TILE 150mm (6") CRUSHED STONE OVER AND AROUND WEEPING TILES.

7. BASEMENT SLAB

100mm (4")MIN. 32MPa CONC. SLAB ON 150mm (6") COARSE GRANULAR FILL, OR 20MPa (2900psi) CONC. WITH DAMPPROOFING BELOW SLAB.

8. EXPOSED FLOOR TO EXTERIOR

PROVIDE RSI 5.46 (R31) INSULATION, APPROVED VAPOUR BARRIER AND CONTINUOUS AIR BARRIER, FINISHED SOFFIT.

9. RSI 8.81 (R50) ROOF INSULATION AND APPROVED 6 mil. VAPOUR BARRIER, 13mm (1/2") INT. DRYWALL FINISH OR APPROVED EQUAL.

10. ALL STAIRS/EXTERIOR STAIRS -OBC. 9.8.-

MAX. RISE = 200 (7-7/8")
MIN. RUN = 210 (8-1/4")
MIN. TREAD = 235 (9-1/4")
MAX. NOSING = 25 (1")
MIN. HEADROOM = 1950 (6'-5")
RAIL @ LANDING = 900 (2'-11")
RAIL @ STAIR = 800 (2'-8")
MIN. STAIR WIDTH = 860 (2'-10")
FOR CURVED STAIRS
MIN. AVG. RUN = 150 (6")
MIN. RUN = 200 (8")

11. FINISHED RAILING ON PICKETS SPACED MAXIMUM 100mm (4") BETWEEN PICKETS. GUARDS -OBC. 9.8.8.
INTERIOR GUARDS: 900mm (2'-11") MIN.
EXTERIOR GUARDS: 1070mm (3'-6") MIN.

12. 38x89 (2"x4") SILL PLATE WITH 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C., CAULKING OR 25 (1") MIN MINERAL WOOL BETWEEN PLATE AND TOP OF FDTN. WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

13. RSI 3.51 (R20cc) INSULATION BLANKET OR BATTS WITH 38x89 (2"x4") STUD WALL, AND APPROVED VAPOUR BARRIER FULL HEIGHT GRADE DAMPPROOF W/ BLDG. PAPER BETWEEN THE FDTN. WALL AND INSUL. UP TO GRADE LEVEL.

14. not used

15. STEEL BASEMENT COLUMN (SEE O.B.C. 9.17.3.4)
90mm (3-1/2") DIA. SINGLE TUBE ADJUSTABLE STL. COL. CONFORMING TO CAN/CGSB-7.2M, AND W/ 150x150x9.5 (6"x6"x3/8") STL. PL. TOP & BOTTOM. 870x870x410 (34"x34"x16") CONC. FTG. 15MPa ON UNDISTURBED SOIL.

15A. STEEL BASEMENT COLUMN (SEE O.B.C. 9.17.3.4)
90mm(3-1/2") DIA x 4.78mm(.188) NON-ADJUSTABLE STL. COL. W/ 150x150x9.5 (6"x6"x3/8") STL. TOP & BOTTOM PLATE ON 1120x1120x510 (44"x44"x20") CONC. FOOTING 15MPa ON UNDISTURBED SOIL.

15B. STEEL COLUMN (SEE O.B.C. 9.17.3.4)
90mm(3-1/2") DIA x 4.78mm(.188) NON-ADJUSTABLE STL. COLUMN WITH 150x150x9.5 (6"x6"x3/8") STEEL TOP & BOTTOM PLATE. BASE PLATE 120x250x12.5 (4 1/2"x10"x1/2") WITH 2-12mm DIA. x 300mm LONG x50mm HOOK ANCHORS (2-1/2"x12"x2") FIELD WELD COLUMN TO BASE PLATE.

15D. STEEL COLUMN (SEE O.B.C. 9.17.3.4)
3-1/2" ø x 0.138" WALL THICKNESS. ADJUSTABLE COLUMN 15" x 5" x 1/4" H - PLATE 6"x6"x5/16" BASE PLATE ON FTG. 42"x42"x18" CONC. FTG. (15MPa) ON NAT. UNDISTURBED SOIL

16. BEAM POCKET OR 200x250 (8"x10") POURED CONCRETE NIB WALLS. MINIMUM BEARING 90mm (3-1/2").

17. 19x64 (1"x3") CONTINUOUS WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

18. GARAGE SLAB: 100mm (4") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 150 (6") COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT AT 1% MIN.

19. 13mm (1/2") GYPSUM BD. ON WALL AND CEILING BETWEEN HOUSE AND GARAGE, RSI 4.23 (R24) IN WALLS, RSI 5.46 (R31) IN CEILING. TAPE AND SEAL & STRUCTURALLY SUPPORT ALL JOINTS, IN ORDER TO BE GAS TIGHT.

20. DOOR AND FRAME GASPROOFED. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHERSTRIPPING.

21. PRECAST CONCRETE STEP OR WD. STEP WHERE NOT EXPOSED TO WEATHER. MAX. RISE 200mm (7-7/8"); MINIMUM TREAD 250mm (9-1/2").

22. CAPPED DRYER EXHAUST VENTED TO EXTERIOR. DUCTS SHALL CONFORM TO O.B.C. PART 6

23. ATTIC ACCESS HATCH 500x700 (20"x28") WITH WEATHERSTRIPPING. RSI 8.81 (R50) RIGID INSULATION BACKING.

24. FIREPLACE CHIMNEYS -OBC. 9.21.-
TOP OF FIREPLACE CHIMNEY SHALL BE 915mm (3'-0") ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 610mm (2'-0") ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 3050mm (10'-0") FROM THE CHIMNEY.

25. LINEN CLOSET 4 SHELVES MIN. 350mm (14") DEEP.

26. MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR. TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR. PROVIDE DUCT SCREEN AS PER O.B.C. 9.32.3.12

27. STEEL BEARING PLATE FOR MASONRY WALLS
280x280x16 (11"x11"x5/8") STL. PLATE FOR STL BEAMS AND 280x280x12 (11"x11"x1/2") STL. PLATE FOR WOOD BEAMS BEARING ON CONC. BLK. PARTYWALL, ANCHORED W/ 2-19mm (3/4") x200mm (8") LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL WITH NON-SHRINK GROUT. OR

SOLID WOOD BEARING FOR WOOD STUD WALLS
SOLID BEARING TO BE AT LEAST AS WIDE AS THE SUPPORTED MEMBER. SOLID WOOD BEARING COMPRISED OF BUILT-UP WOOD STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH OBC. 9.17.4.2 (2).

28. STUD WALL REINFORCEMENT 9.5.2.3.
PROVIDE WOOD BLOCKING REINFORCEMENT TO STUD WALLS FOR FUTURE GRAB BAR INSTALLATION IN MAIN BATHROOM, 840-920mm (33"-36") A.F.F. BEHIND TOILET. 850mm (33") A.F.F. ON THE WALL OPPOSITE THE THE ENTRANCE TO THE BATHTUB OR SHOWER

29. 3-38x89 (3-2"x4") BUILT-UP-POST WITH DAMPPROOFING MATERIAL WRAPPED AT THE END OF POST ANCHORED TO 610x610x300 (24"x24"x12") CONCRETE FOOTING.

30. STEP FOOTINGS: MIN. HORIZ. STEP = 600mm (23 5/8"). MAX. VERT. STEP = 600mm (23 5/8") FOR FIRM SOILS.

31. MIN. 100mm (4") CONCRETE SLAB ON GRADE ON 100mm (4") COARSE GRANULAR FILL. REINFORCED W/ 6x6-W2.9xW2.9 MESH PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32 MPa.(4640 psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE.

32. DIRECT VENT FURNACE TERMINAL MIN. 900mm (36") FROM A GAS REGULATOR. MIN. 300mm (12") ABOVE FIN. GRADE, FROM ALL OPENINGS, EXHAUST & INTAKE VENTS. HRV INTAKE TO BE A MIN. OF 1830mm (6'-0") FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.

33. DIRECT VENT GAS FIREPLACE. VENT TO BE A MINIMUM 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.

34. SUBFLOOR, JOIST STRAPPING AND BRIDGING
-3/4" T & G PLYWOOD SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION (* SEE OBC 9.30.6. *)
6mm (1/4") PANEL TYPE UNDERLAY UNDER RESILIENT & PARQUET FLOORING. (*- SEE OBC 9.23.9.4. *)
ALL JOISTS TO BE BRIDGED WITH 38x38 (2"x2") CROSS BRACING OR SOLID BLOCKING @ 2100mm (6'-11") O.C. MAX. ALL JOISTS TO BE STRAPPED WITH 19x64 (1"x3") @ 2100mm (6'-11") O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED.

35. EXPOSED BUILDING FACE -OBC. 9.10.14.5-
EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 min. WHERE LIMITING DISTANCE IS LESS THAN 1.2M (3'-11"). WHERE THE LIMITING DISTANCE IS LESS THAN 600mm (1'-11") THE EXPOSING FACE SHALL BE CLAD IN NON-COMBUSTIBLE MATERIAL.

36. COLD CELLAR PORCH SLAB
FOR MAX. 2500 mm (8'-3") PORCH DEPTH, 130mm (5") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT. REINF. WITH 10M BARS @ 200mm (8") O.C. EACH WAY IN BOTTOM THIRD OF SLAB, 610x610 (24"x24") DOWELS @ 600mm (24") O.C., ANCHORED IN PERIMETER FDTN. WALLS. SLOPE SLAB MIN. 1.0% FROM DOOR. PROVIDE (L7) LINTELS OVER CELLAR DOOR.

37. THE FDTN. WALL SHALL NOT BE REDUCED TO LESS THAN 90mm (3-1/2") THICK TO A MAX. DEPTH OF 600mm (24") AND SHALL BE TIED TO THE FACING MATERIAL WITH METAL TIES SPACED 200mm (8") O.C. VERTICALLY AND 900mm (36") O.C. HORIZONTALLY. FILL SPACE BETWEEN WALL AND FACING SOLID WITH MORTAR.

38. CONVENTIONAL ROOF FRAMING
38x190 (2"x8") RAFTERS @ 400mm (16"O.C.), 38x310 (2"x12") RIDGE BOARD. 38x89 (2"x4") COLLAR TIES AT MIDSPANS. CEILING JOISTS TO BE 38x140 (2"x8") @ 400mm (16") O.C. FOR MAX. 2830mm (9'-3") SPAN & 38x140 (2"x6") @ 400 (16") O.C. FOR MAX. 4450mm (14'-7") SPAN. RAFTERS FOR BUILT-UP ROOF TO BE 38x89 (2"x4") @ 600mm (24") O.C. WITH A 38x89 (2"x4") CENTRE POST TO THE TRUSS BELOW, LATERALLY BRACED @ 1800mm (6'-0") O.C. VERTICALLY.

LEGEND	
	FD FLOOR DRAIN
	DJ DOUBLE JOIST
	TJ TRIPLE JOIST
	LVL LAMINATED VENEER LUMBER
	PL POINT LOAD FROM ABOVE
	P.T. PRESSURE TREATED LUMBER
	G.T. GIRDER TRUSS BY ROOF TRUSS MANUF.
	R.R. ROOF RAFTERS
	C.J. CEILING JOISTS

WOOD LINTELS AND BUILT-UP WOOD BEAMS	
L1A	2/38 x 140 (2/2" x 6") SPR.#2
L1	2/38 x 184 (2/2" x 8") SPR.#2
B1	3/38 x 184 (3/2" x 8") SPR.#2
B2	4/38 x 184 (4/2" x 8") SPR.#2
L3	2/38 x 235 (2/2" x 10") SPR.#2
B3	3/38 x 235 (3/2" x 10") SPR.#2
B4	4/38 x 235 (4/2" x 10") SPR.#2
L5	2/38 x 286 (2/2" x 12") SPR.#2
B5	3/38 x 286 (3/2" x 12") SPR.#2
B6	4/38 x 286 (4/2" x 12") SPR.#2
LOOSE STEEL LINTELS	
L7	90 x 90 x 6.0L (3-1/2" x 3-1/2" x 1/4"L)
L8	90 x 90 x 8.0L (3-1/2" x 3-1/2" x 5/16"L)
L9	100 x 90 x 8.0L (4" x 3-1/2" x 5/16"L)
L10	125 x 90 x 8.0L (5" x 3-1/2" x 5/16"L)
L11	125 x 90 x 10.0L (5" x 3-1/2" x 3/8"L)
L12	150 x 100 x 10.0L (6"x 4" x 3/8"L)

LAMINATED VENEER LUMBER (LVL) BEAMS	
LVL1	2-1 3/4"x7 1/4" (2-45x184) 2.0E
LVL2	3-1 3/4"x7 1/4" (3-45x184) 2.0E
LVL3	4-1 3/4"x7 1/4" (4-45x184) 2.0E
LVL4	2-1 3/4"x9 1/2" (2-45x240) 2.0E
LVL5	3-1 3/4"x9 1/2" (3-45x240) 2.0E
LVL6	4-1 3/4"x9 1/2" (4-45x240) 2.0E
LVL7	3-1 3/4"x11 7/8" (3-45x302) 2.0E
LVL8	4-1 3/4"x11 7/8" (4-45x302) 2.0E
LVL9a	1-1 3/4"x14" (2-45x355) 2.0E
LVL9	2-1 3/4"x14" (2-45x355) 2.0E
LVL10	3-1 3/4"x14" (3-45x355) 2.0E
LVL11	4-1 3/4"x14" (4-45x355) 2.0E

39. TWO STOREY VOLUME SPACES

-FOR A MAXIMUM 5490 mm (18'-0") HEIGHT, PROVIDE 2-38x140 (2-2"x6") SPR.#2 CONTIN. STUDS @ 300mm (12") O.C. FOR BRICK AND 400mm (16") O.C. FOR SIDING C/W 9.6 (3/8") THICK EXT. PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 1220 mm (4'-0") O.C. VERTICALLY.

-FOR HORIZ. DISTANCES NOT EXCEEDING 2900 mm (9'-6"), PROVIDE 38x140 (2"x6") STUDS @ 400 (16") O.C. WITH CONTINUOUS 2-38x140 (2-2"x6")TOP PLATE + 1-38x140 (1-2"x6") BOTTOM PLATE & MINIMUM OF 3-38x184 (3-2"x8") CONT. HEADER AT GRND. CEILING LEVEL TOE-NAILED & GLUED AT TOP, BOTTOM PLATES AND HEADERS.

SMOKE ALARM (REFER TO OBC 9.10.19)

SA PROVIDE 1 PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL AND ONE PER SLEEPING ROOM. ALARMS TO BE DIRECTLY CONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED TO ACTIVATE ALL ALARMS IF 1 SOUNDS, COMES WITH STROBE LIGHT

CMD CARBON MONOXIDE DETECTOR (OBC 9.33.4)
* CHECK LOCAL BYLAWS FOR REQUIREMENTS *

SB= SOLID WOOD BEARING
SB2 - 2 MEMBER BUILT-UP STUD
SB3 - 3 MEMBER BUILT-UP STUD
SB4 - 4 MEMBER BUILT-UP STUD
SBFA- SOLID BEARING FROM ABOVE CARRY POST AND BLOCKING THROUGH FLOOR ASSEMBLY

SOLID BEARING POSTS TO BE MADE UP OF THE SAME SIZE OF STUD IN WALL IT IS LOCATED. (OR MIN 2"x4" FOR ROOF POSTS. EACH PLY TO BE TIED TOGETHER AS PER 9.17.4.2.(2) AND 9.23.10.7. DIV. B. O.B.C.

WINDOWS:

- 1) MINIMUM BEDROOM WINDOW -OBC. 9.9.10.-
AT LEAST ONE BEDROOM WINDOW ON A GIVEN FLOOR IS TO HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380mm (1'-3").
- 2) WINDOW GUARDS -OBC. 9.8.8.1.-
A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11").
- 3) WINDOW OVER STAIRS & LANDINGS -OBC. 9.8.8.1.-
A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 900mm (2'-11") ABOVE THE SURFACE OF THE TREAD, RAMP OR LANDING

NOTE:
MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.3 AIR CHANGES PER HOUR AVERAGED OVER 24 HOURS. SEE MECHANICAL DRAWINGS.

LUMBER:

- 1) ALL LUMBER SHALL BE SPRUCE NO.2 GRADE, UNLESS NOTED OTHERWISE.
- 2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.
- 3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.
- 4) ALL LAMINATED VENEER LUMBER (L.V.L.) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURER.
- 5) LVL BEAMS SHALL BE 2.0E WS MICRO-LAM LVL (Fb=2800psi.MIN.) OR EQUIVALENT. NAIL EACH PLY OF LVL WITH 89mm (3 1/2") LONG COMMON WIRE NAILS @ 300mm (12") O.C. STAGGERED IN 2 ROWS FOR 184,240 & 300mm (7 1/4",9 1/2", 11 7/8") DEPTHS AND STAGGERED IN 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 13mm (1/2") DIA. GALV. BOLTS BOLTED AT MID-DEPTH OF BEAM @ 915mm (3'-0") O.C.
- 6) PROVIDE TOP MOUNT BEAM HANGERS TYPE "SCL" MANUFACTURED BY MGA CONNECTOR LTD. Tel. (905) 642-3175 OR EQUAL FOR ALL LVL BEAM TO BEAM CONNECTIONS UNLESS NOTED OTHERWISE.
- 7) JOIST HANGERS: PROVIDE METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP WOOD MEMBERS.
- 8) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil. POLYETHYLENE FILM, No.50 (45lbs.) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 150mm (6") ABOVE THE GROUND.
- 9) TERMITE & DECAY PROTECTION
IN LOCATIONS WHERE TERMITES ARE KNOWN TO OCCUR, CLEARANCE BETWEEN STRUCTURAL WOOD ELEMENTS AND THE FINISHED GROUND LEVEL DIRECTLY BELOW THEM SHALL BE NOT LESS THAN 450mm (17 3/4") AND ALL SIDES OF SUPPORTING ELEMENTS SHALL BE VISIBLE TO INSPECTION.
STRUCTURAL WOOD ELEMENTS, SUPPORTED BY WOOD ELEMENTS IN CONTACT WITH THE GROUND OR OVER EXPOSED BARE SOIL SHALL BE PRESSURE TREATED WITH CHEMICAL THAT IS TOXIC TO TERMITES

STEEL:

- 1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 300W. HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H".
- 2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

D1	18"x96"x1.5" [I.H.S.]
D2	24"x96"x1.5" [I.H.S.]
D3	26"x96"x1.5" [I.H.S.]
D4	28"x96"x1.5" [I.H.S.]
D5	30"x96"x1.5" [I.H.S.]
D6	32"x96"x1.5" [I.H.S.]
D7	34"x96"x1.5" [I.H.S.]
D8	36"x96"x1.5" [I.H.S.]

D9	30"x96"x 2" [E.H.M.]
D10	32"x96"x 2" [E.H.M.]
D11	34"x96"x 2" [E.H.M.]
D12	36"x96"x 2" [E.H.M.]
D13	(36")x96"x 2" [SOLID WD.] CUSTOM SIZE & MATERIAL
D14	(40")x96"x 2" [SOLID WD.] CUSTOM SIZE & MATERIAL

FALSE DORMER NOTE:
VENEER TO BE 2" THICK, ADHERED THIN VENEER INSTALLED AS PER MANUFACTURER SPECS (OR LESS) OR CONTACT TACOMA FOR STEEL FRAMING SPEC PRIOR TO CONSTRUCTION

ROOF TRUSS DESIGN NOTE:
FOR PART 4 ROOF TRUSSES REQUIRING WEB LATERAL BRACING, TRUSS MANUFACTURER IS TO DESIGN T-BRACING INSTEAD OF WEB LATERALS

FALSE DORMER STRUCTURAL NOTE:
1.BUILD DORMER WITH 2X6 WALLS ADN2X6 STICK FRAMED ROOF, PROPPED DOWN ONTO TRUSS TOP CHORDS @ 2'-0" O.C SUCH THAT THE DORMER WEIGHT IS EVENLY SPREAD OUT ONTO TRUSSES.

2.DORMER WEIGHT IS .35kPa WHICH IS WITHIN THE ALLOWANCE FOR THE TRUSS DEAD LOAD

3.SPECIAL TRUSS ANALYSIS IS NOT REQUIRED FROM THE MANUFACTURER

NOTE:
ALL CONSTRUCTION SHALL CONFORM TO THE ONTARIO BUILDING CODE (O.B.C) AND OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. UNLESS NOTED OTHERWISE, THE CODE REFERENCE ARE FROM 2012 O.B.C, REG 332/12 , DIVISION B, PART 9.

NOTE:
PROVIDE 3-2X6 POST BELOW ALL GIRDER TRUSSES (U.N.O)
NOTE:
CODE REFERENCES REFER TO O.B.C 2012 DIVISION B

VENT NOTE:
ROOF TO BE VENTED TO OF INSULATED ATTIC AREA- AT LEAST 50% OF VENT AREA IN THE SOFFIT- NO MORE THAN 50% OF THE REQUIRED ROOF VENT AREA AS ROOF OR RIDGE VENTS

VENT NOTE:
ROOF AREA-4716 SQFT. @ =15.3 (13.5/2=7.6 OR MIN. 8 ROOF VENTS)

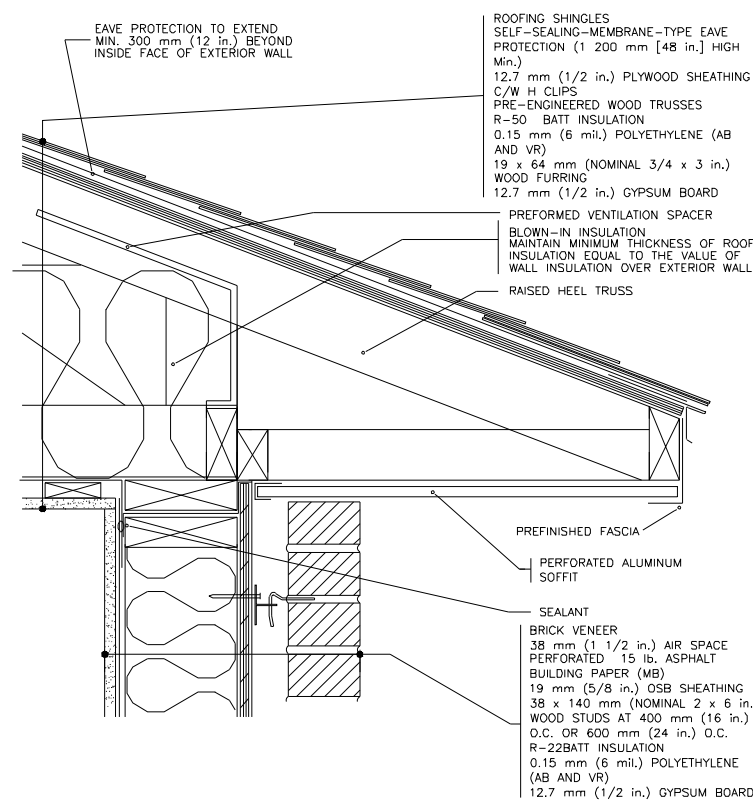
NOTE:
REFER TO TRUSS LAYOUT BY WATTFORD ROOF TRUSS LTD. DATED MARCH 13, 2017 FOR TRUSS SPANS AND EXACT GIRDER LOCATIONS

NOTES:
PROVIDE FIRE SEPARATION IN ATTIC SPACE. NO SPACE CAN BE LARGER THAN 3230. SQFT.

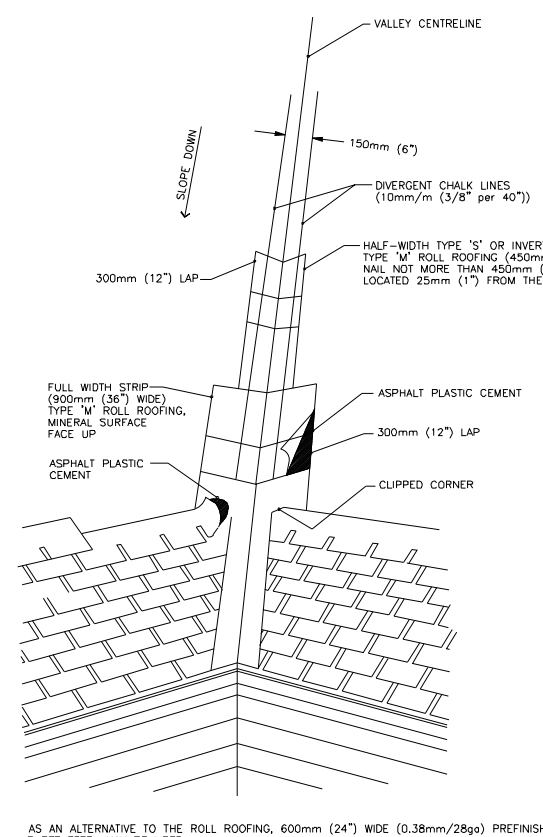
NOTE:
PLEASE REFER TO TRUSS LAYOUT AND PACKAGE DETAILS FOR TRUSS DETAILS, HEEL HEIGHTS, NOTES AND UPLIFT CLIPS

Revision	No.	By	DD/MM/YY
----------	-----	----	----------

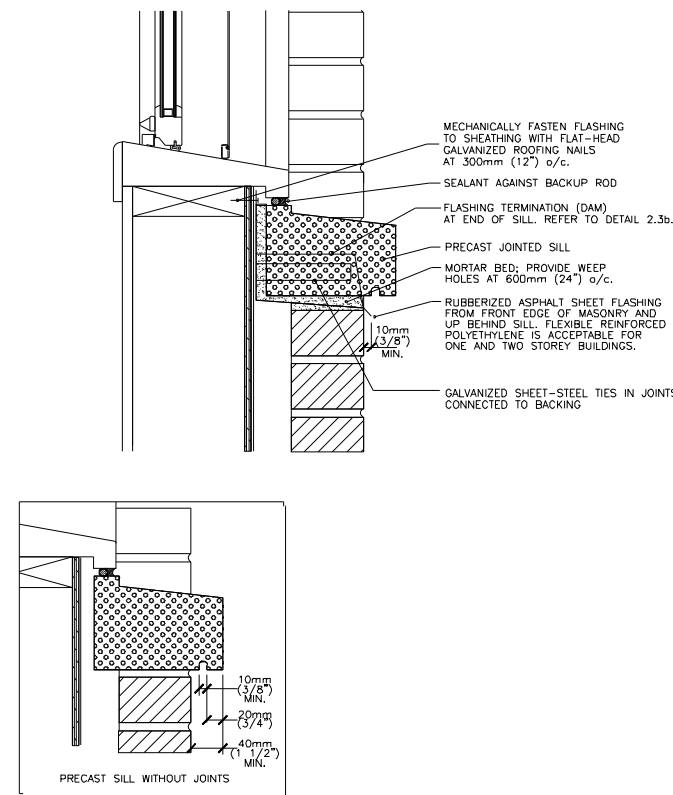
FLASHING DETAILS—TYPICAL



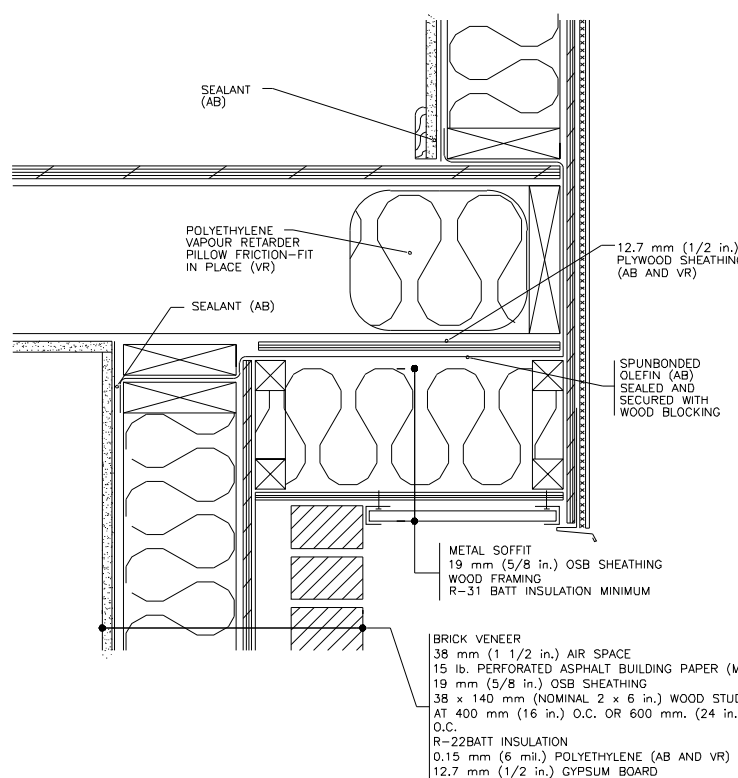
ENEER WALL AT ROOF



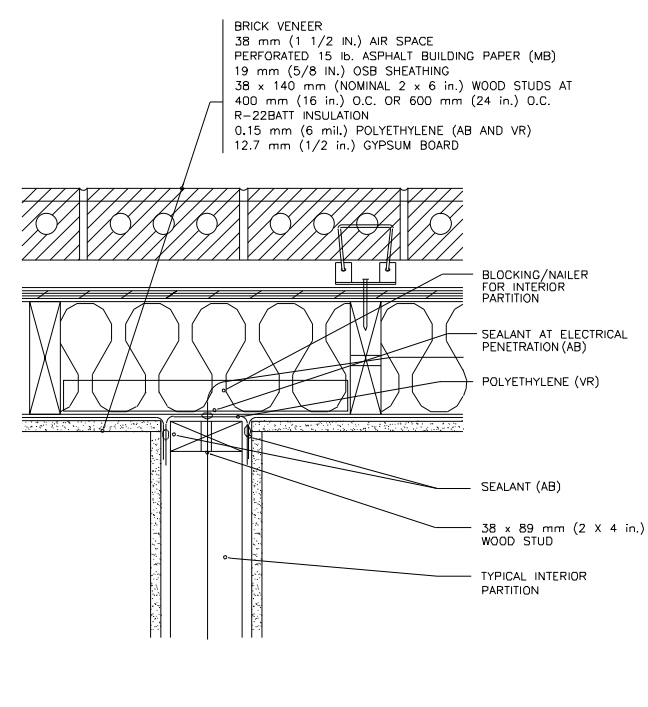
OPEN VALLEY - ASPHALT SHINGLE ROOF



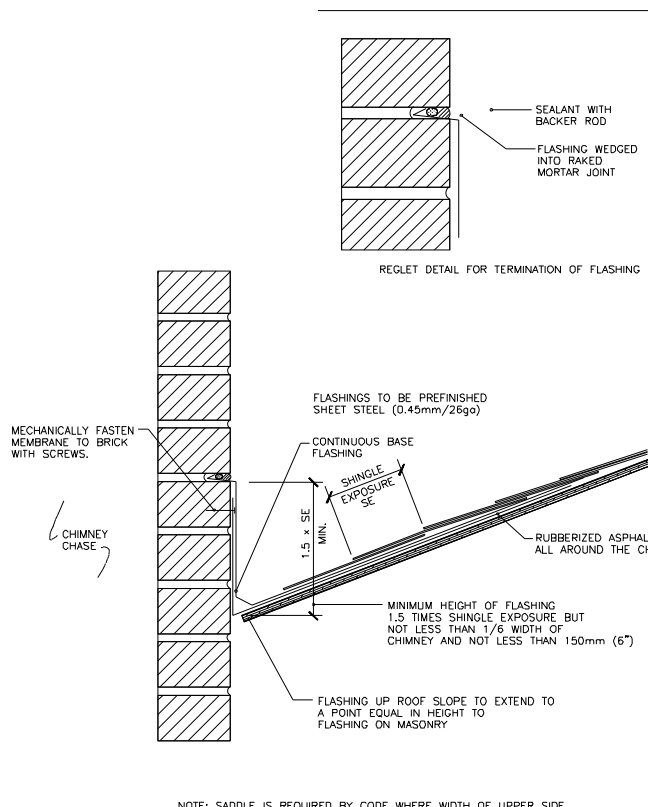
PRECAST WINDOW SILL - WOOD-FRAME WALL



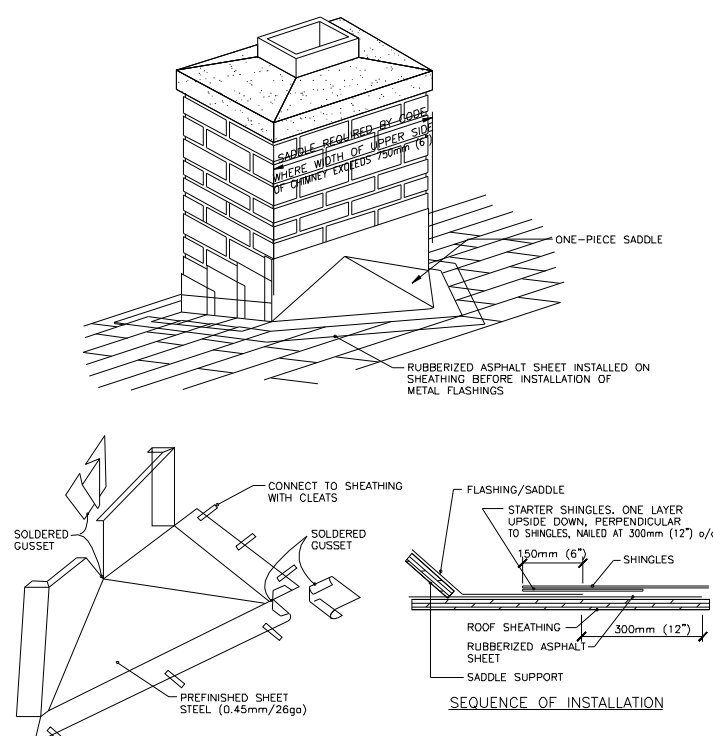
CANTILEVERED FLOOR



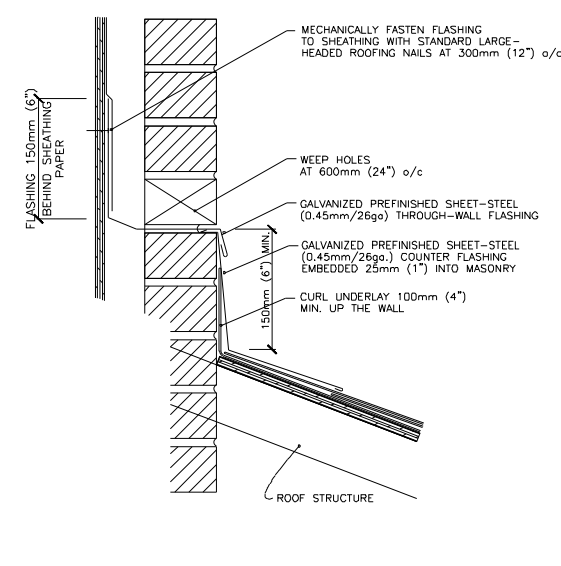
INTERIOR PARTITION, HORIZONTAL SECTION



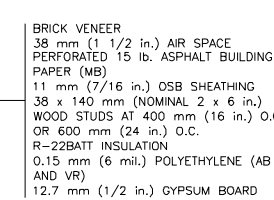
ROOF PENETRATIONS - UPPER SIDE OF CHIMNEY



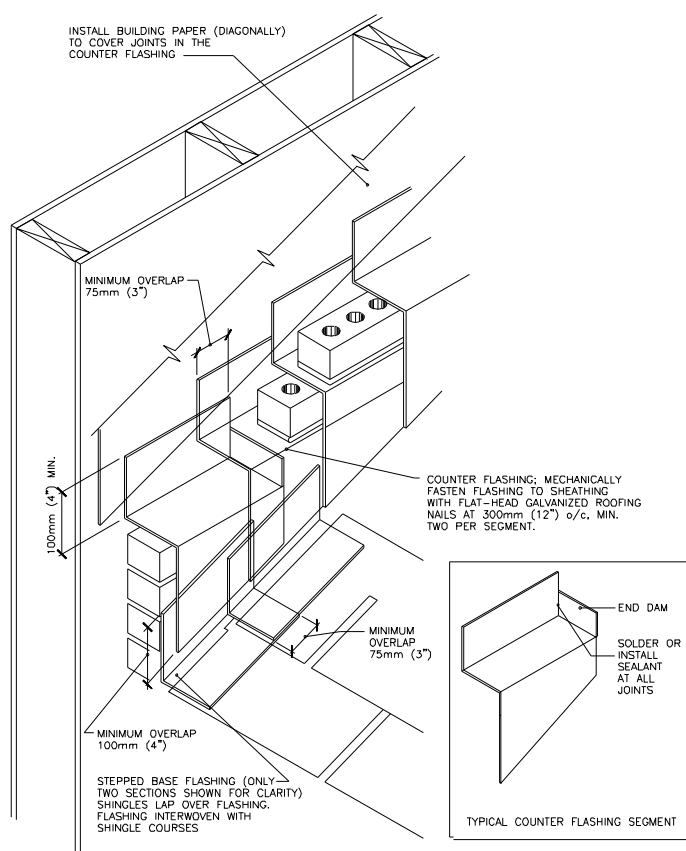
ROOF PENETRATIONS – CHIMNEY



SLOPED ROOF/WALL INTERSECTION - BRICK VENEER



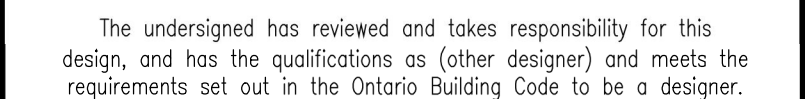
CORNER, HORIZONTAL SECTION



SLOPED ROOF/WALL INTERSECTION – WOOD-FRAME

Revision	No.	By	DD/MM/YY
----------	-----	----	----------

REVIEWED UNDER THE 2012 O.B.C. AS AMENDED



Qualification Information
Required unless design is exempt under Div. C-3.2.5. of the building code.
Designed under 3.2.4.1.(3),(d)

Peter Vozikas	106605
Name	BCIN

DESIGNER: [REDACTED]



OWNER:
Kuldeep Singh, Harmonjot
Grewal, Navkiranpreet Kaur
10 Whetstone Crescent
Guelph, Ontario
212-215-7870

PROJECT: NEW SINGLE FAMILY DWELLING

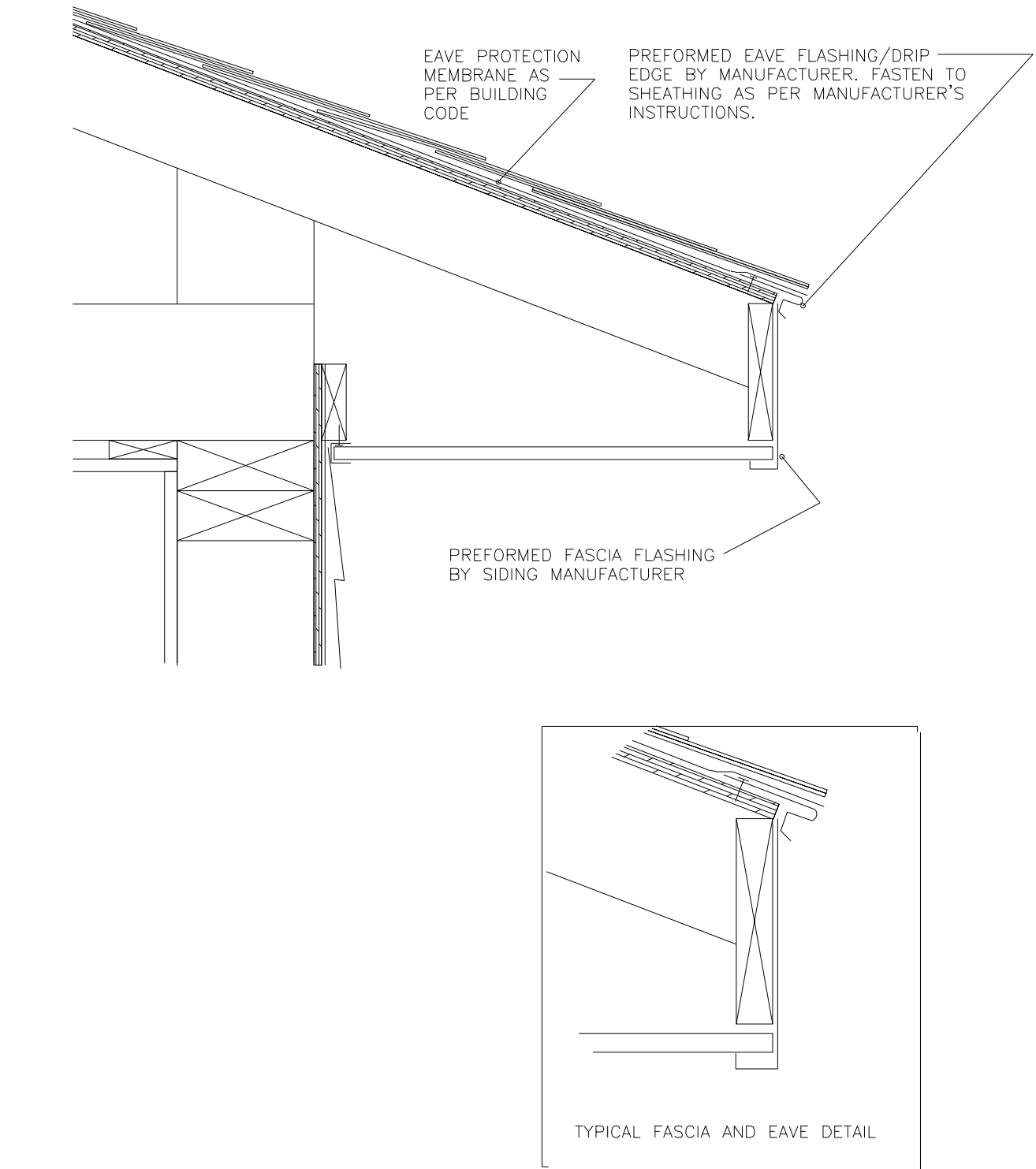
SHEET TITLE:
FRAMING DETAILS

SCALE: N.T.S.	DATE: JAN/2018
------------------	-------------------

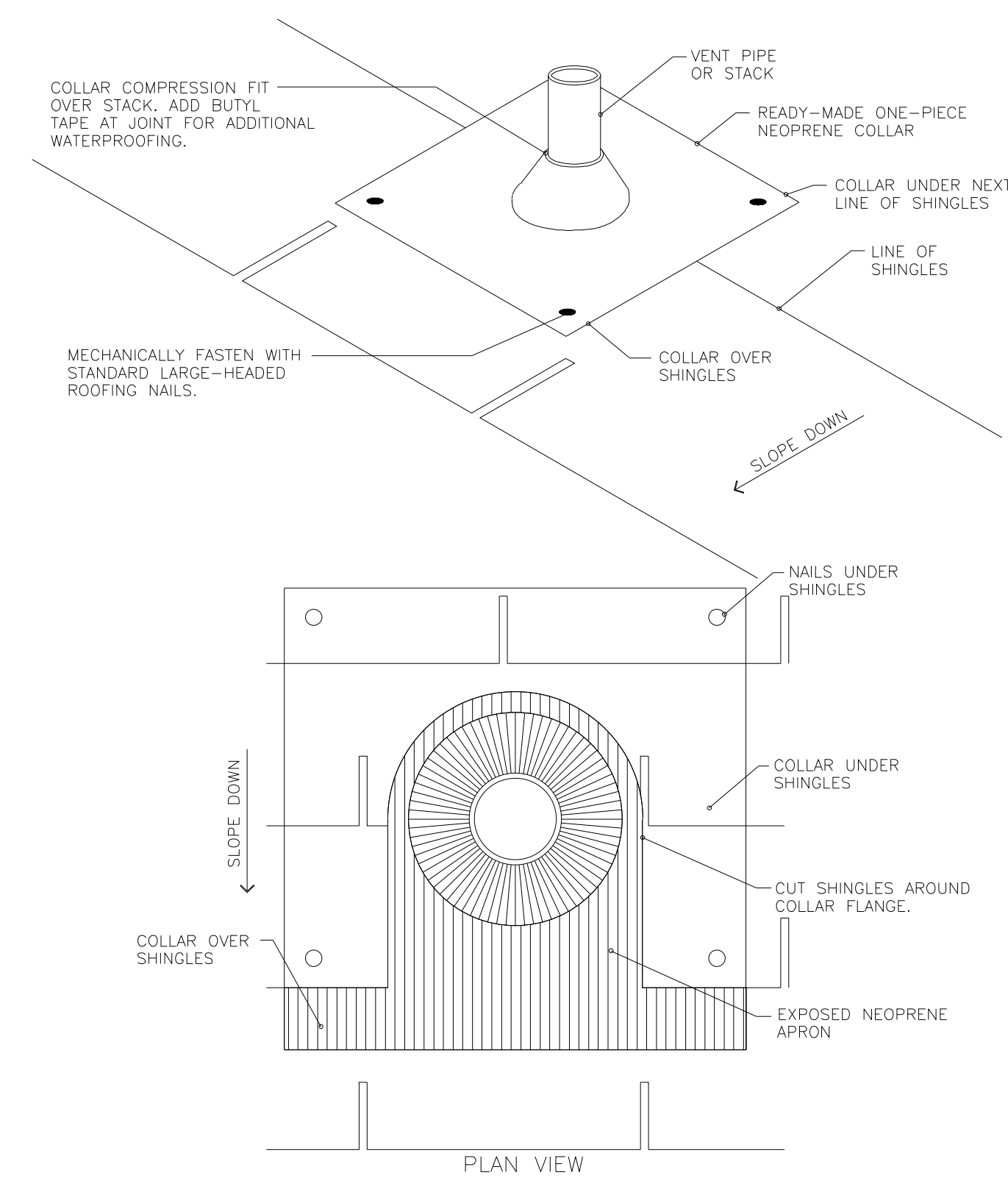
DRAWN BY: PV	CHECKED BY: PV
-----------------	-------------------

PROJECT NO:	SHEET NO:
-------------	-----------

A11



SLOPED SHINGLE ROOF EAVE



ROOF PENETRATIONS – PREFABRICATED VENT/PIPE FLASHING – SHINGLE ROOF

ALL REFERENCES TO DIV. B. O.B.C. 2006 UNLESS OTHERWISE NOTED
THE FOLLOWING IS A LIST OF APPLICABLE REGULATIONS FROM THE O.B.C. 2006

ROOFING:

- 1) SEE 9.26.4.5. FOR Intersection of Shingle Roofs and Walls Other Than Masonry
- 2) SEE 9.26.4.3. FOR Valley Flashing CONSTRUCTION
- 3) SEE 9.26.2.2. FOR Nails and 9.26.2.3. FOR Staples
- 4) ASPHALT SHINGLES TO COMPLY WITH CAN/CSA-A123.5, "Asphalt Shingles Made from Glass Felt and Saturated with Mineral Granules"
SEE Article 9.26.2.1.
- 5) Interior wood studs in contact with concrete located below grade are required to comply with 2006 Building Code Div. B, Article 9.23.2.3. Protection from Dampness SEE BEARING STUD DETAIL.
- 6) FACTORY BUILT FIRE PLACES TO CONFORM TO "CAN/ULC-S610-M, "Factory-Built Fireplaces".
SEE Article 9.22.8.1.
- 7) CAULKING:
 - 9.27.4.1. Required Caulking
 - (1) Caulking shall be provided where required to prevent the entry of water into the structure.
 - (2) Caulking shall be provided between masonry, siding or stucco and the adjacent door and window frames or trim, including sills unless such locations are completely protected from the entry of rain.
 - (3) Caulking shall be provided at vertical joints between different cladding materials unless the joint is suitably lapped or flashed to prevent the entry of rain.
 - (2) Caulking shall conform to,
 - (a) CGSB 19-GP-5M, "Sealing Compound, One Component, Acrylic Base, Solvent Curing",
 - (b) CAN/CGSB-19.13-M, "Sealing Compound, One Component, Elastomeric, Chemical Curing",
 - (c) CGSB 19-GP-14M, "Sealing Compound, One Component, Butyl-Polyisobutylene Polymer Base „Solvent Curing", or
 - (d) CAN/CGSB-19.24-M, "Multicomponent, Chemical Curing Sealing Compound".

- 8) ALL window sills are TO BE provided with an outward slope with a drip loacted to the underside 1" from the wall surface, see 2006 Building Code Div. B, Article 9.20.13.12.
- 9) DOWN SPOUTS ARE TO BE PROVIDED AT ALL CORNERS AND VALLEYS OF ROOR. DOWN SPOUTS ARE NOT PROVIED ON ELEVATION FOR CLARITY, see 2006 Building Code Div. B, Article 9.26.18.2. Where downspouts are provided and are not connected to a sewer, extensions shall be provided to carry rainwater away from the building in a manner that will prevent soil erosion.

- 10) SEE general note 5 ON drawing A11 Drainage layer to be installed as outlined in Article 9.14.2.1. AND foundation wall are to be waterproofed as outlined in Subsection 9.13.3.
- 11) SEE Subsection 9.10.22. FOR clearances for kitchen ranges,
- 12) SEE Article 9.7.6.1. and Subsection 9.6.8. Resistance to Forced Entry for windows and doors WITH IN 2000mm ABOVE GRADE
- 13) SEE 2006 Building Code Div. B, Article 9.7.1.3. FOR bedroom window requirements. ALL BEDROOM WINDOWS ARE TO BE DESIGNED AND INSTALLED TO THESE REQUIREMENTS.

ALL REFERENCES TO DIV. B. O.B.C. 2006 UNLESS OTHERWISE NOTED
THE FOLLOWING IS A LIST OF APPLICABLE REGULATIONS FROM THE O.B.C. 2006

- 1) ALL FLOOR SURFACES ARE Required TO HAVE Finished Flooring. SEE 9.30.1.1.(1)
- 2) 9.30.1.2. Water Resistance
Finished flooring in bathrooms, kitchens, public entrance halls, laundry and general storage areas shall consist of resilient flooring, felted-synthetic-fibre floor coverings, concrete, terrazzo, ceramic tile, mastic or other types of flooring providing similar degrees of water resistance
- 3) SEE 9.30.6. FOR Ceramic Tile AND ITS INSTALLATION.
- 4) SEE Subsection 9.29.10 FOR Wall Tile Finish INSTALLATION
- 5) SEE Subsection 9.29.5. FOR Gypsum Board Finish (Taped Joints) INSTALLATION
- 6) SEE Subsection 9.29.2. FOR Waterproof Wall Finish STANDARDS
- 7) SEE Subsection 9.34.2. FOR Lighting Outlets AND THEIR LOCATION
- 8) CCMC report number for stucco system 12969-R " InsulROCK and PUCC Exterior Insulation Finish Systems"
- 9) SEE Sentence 9.27.1.1.(2) AND (3) FOR EXTERIOR cladding.
- 10) SEE Subsection 9.26.7. FOR INSTALLATION OF Asphalt Shingles on Slopes of 1 in 3 or Greater
- 11)SEE 2006 Building Code Div. B, Tables 9.23.3.4. Nailing for Framing AND 9.33.3.5. Fasteners for Sheathing and Subflooring
- 12)SEE 2006 Building Code Div. B, Article 9.20.3.1. and Table 9.20.3.2.A. FOR MORTAR TYPE AND STANDARD – CSA A179, "Mortar and Grout for Unit Masonry"

All building code references are to Div. B. of the 2006 Ontario Building Code.

All windows to be provided with a drip edge that complies with 9.20.13.12. Drips Beneath Window Sills

Modified Bituminous Material to comply to Section 9.26. and CGSB 37-GP-56M, "Membrane, Modified, Bituminous, Prefabricated, and Reinforced for Roofing"

Asphalt Shingles to comply to 9.26.7.1. and CAN/CSA-A123.5, "Asphalt Shingles Made from Glass Felt and Saturated with Mineral Granules".

- 9.26.18.2. Downspouts
 - (1) Where downspouts are provided and are not connected to a sewer, extensions shall be provided to carry rainwater away from the building in a manner that will prevent soil erosion.

- 9.27.3.2. Sheathing Membrane Material Standard
 - (1) Sheathing membranes shall conform to the performance requirements of CAN/CGSB-51.32-M, "Sheathing, Membrane, Breather Type".

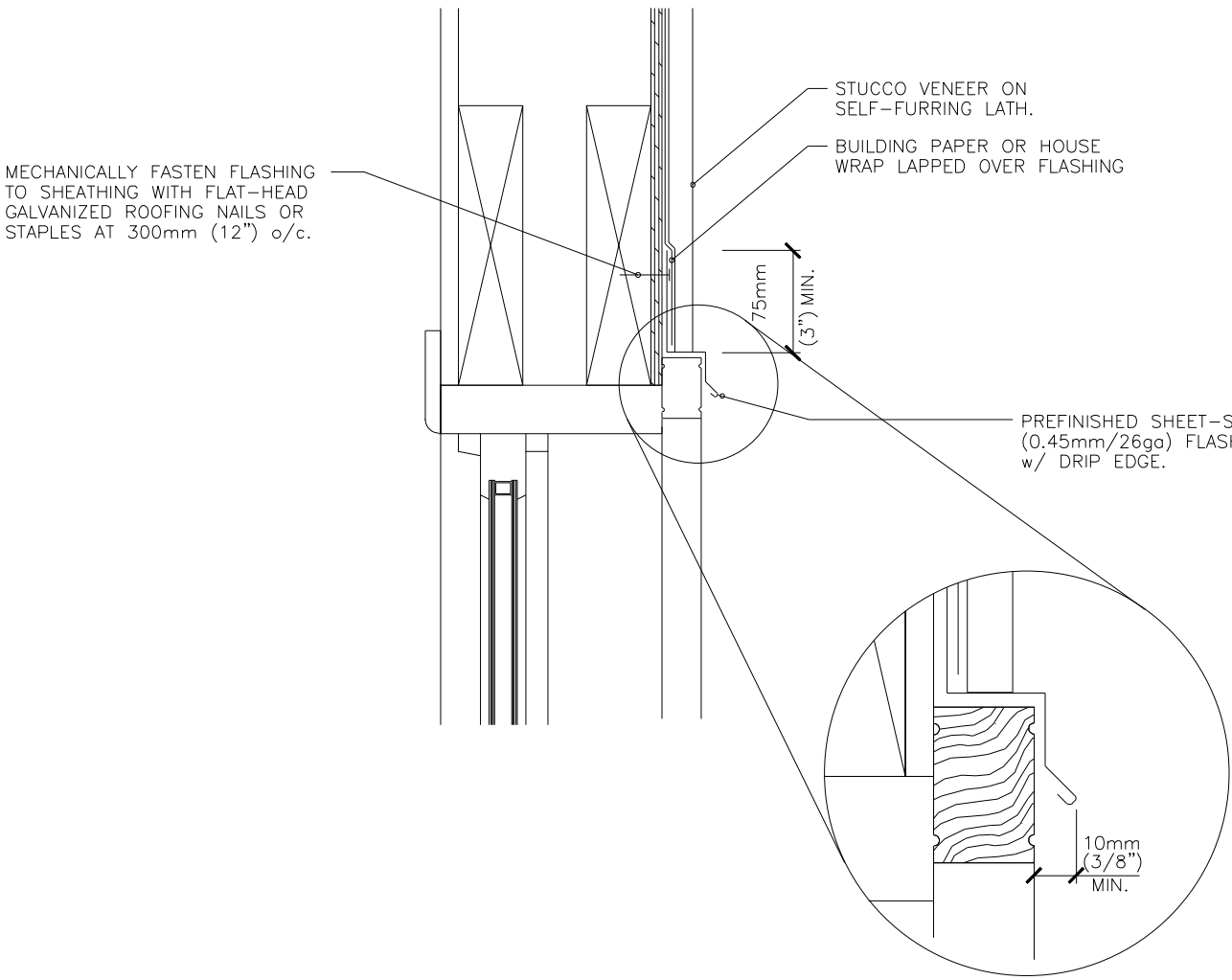
- 9.27.3.3. Required Sheathing Membrane and Installation
 - (1) Except as provided in Articles 9.27.3.4. to 9.27.3.6., at least one layer of sheathing membrane shall be applied beneath siding, stucco or masonry veneer.
 - (2) Sheathing membrane required in Sentence (1) shall be applied so that joints are lapped not less than 100 mm.
 - (3) Where sheathing membrane required in Sentence (1) is applied horizontally, the upper sheets shall overlap the lower sheets.
See also Stucco CCMC approval Attached.

- 9.27.4. Caulking
 - 9.27.4.1. Required Caulking
 - (1) Caulking shall be provided where required to prevent the entry of water into the structure.
 - (2) Caulking shall be provided between masonry, siding or stucco and the adjacent door and window frames or trim, including sills unless such locations are completely protected from the entry of rain.
 - (3) Caulking shall be provided at vertical joints between different cladding materials unless the joint is suitably lapped or flashed to prevent the entry of rain.
 - 9.27.4.2. Materials
 - (1) Caulking shall be,
 - (a) a non-hardening type suitable for exterior use,
 - (b) selected for its ability to resist the effects of weathering, and
 - (c) compatible with and adhere to the substrate to which it is applied.
 - (2) Caulking shall conform to,
 - (a) CGSB 19-GP-5M, "Sealing Compound, One Component, Acrylic Base, Solvent Curing",
 - (b) CAN/CGSB-19.13-M, "Sealing Compound, One Component, Elastomeric, Chemical Curing",
 - (c) CGSB 19-GP-14M, "Sealing Compound, One Component, Butyl-Polyisobutylene Polymer Base, Solvent Curing", or
 - (d) CAN/CGSB-19.24-M, "Multicomponent, Chemical Curing Sealing Compound".

- 9.29.5. Gypsum Board Finish (Taped Joints)
 - 9.29.5.1. Application
 - (1) The requirements for application of gypsum board in this Subsection apply to the single layer application of gypsum board to wood furring or framing using nails or screws.
 - (2) Gypsum board applications not described in this Subsection shall conform to CSA A82.31-M, "Gypsum Board Application".
 - 9.29.5.2. Materials
 - (1) Gypsum products shall conform to,
 - (a) CAN/CSA-A82.27-M, "Gypsum Board",
 - (b) ASTM C36 / C36M, "Gypsum Wallboard",
 - (j) ASTM C1395 / C1395M, "Gypsum Ceiling Board", or
 - (k) ASTM C1396 / C1396M, "Gypsum Board".

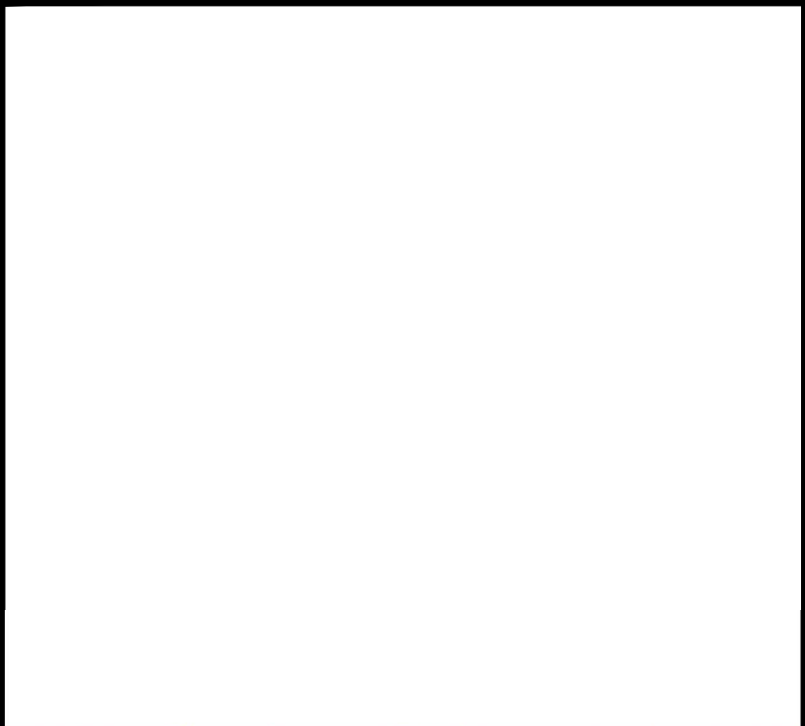
See 9.29.5. for further instalation requirements.

- 9.23.14.2. Material Standards for OSB – CSA O437.0, "OSB and Waferboard".



WINDOW/DOOR HEAD – STUCCO VENEER

Revision	No.	By	DD/MM/YY
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS. ANY DISCREPENCIES ARE TO BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF WORK. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR OR SUBCONTRACTOR PROCEED IN UNCERTAINTY. REVIEWED UNDER THE 2012 O.B.C. AS AMENDED			



The undersigned has reviewed and takes responsibility for this design, and has the qualifications as (other designer) and meets the requirements set out in the Ontario Building Code to be a designer.		
Qualification information Required unless design is exempt under Div. C-3.2.5. of the building code. Designed under 3.2.4.1.(3),(d)		
Peter Vozikas Name		106605 BCIN

DESIGNER:

EMPIRE
DESIGN
COMPANY

PETER VOZIKAS
ARCHITECTURAL DESIGNS FOR:
LUXURY RESIDENTIAL & COMMERCIAL SPACE
416-500-8989 VOZKASS@HOTMAIL.COM
www.empiredesignhomes.com

OWNER:

Kuldeep Singh, Harmonjot Grewal, Navkiranpreet Kaur
10 Whetstone Crescent
Guelph, Ontario
212-215-7870

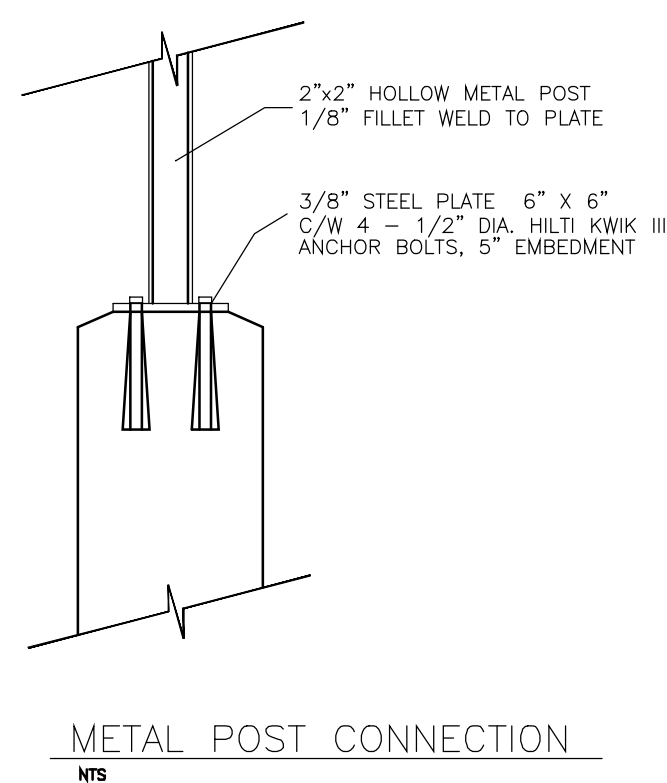
PROJECT:

NEW SINGLE FAMILY DWELLING

SHEET TITLE:

OTHER DETAILS

SCALE: N. T.S.	DATE: JAN/2018
DRAWN BY: PV	CHECKED BY: PV
PROJECT NO:	SHEET NO: A12



PROJECT NO:	SHEET NO:
-------------	-----------

1. WHERE THE FOUNDATIONS OF A BUILDING ARE TO BE CONSTRUCTED BELOW THE LEVEL OF THE FOOTINGS OF AN ADJACENT BUILDING AND WITHIN THE ANGLE OF REPOSE OF THE SOIL, OR THE UNDERPINNING EXCEEDS 1200mm OF Laterally Unsupported Height OR THE SOIL IS CLAY OR SILT, THE UNDERPINNING & RELATED CONSTRUCTION SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER.

2. EXCAVATION SHALL BE UNDERTAKEN IN A MANNER SO AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTY, STRUCTURES, UTILITIES, ROADS & SIDEWALKS. CONTACT YOUR LOCAL UTILITIES PRIOR TO COMMENCING EXCAVATION.

3. MINIMUM CONCRETE STRENGTH FOR UNDERPINNING SHALL BE 20MPa AT 28 DAYS. ALL EXTERIOR CONCRETE SHALL BE 32MPa W/ 5%-8% AIR ENTRAINMENT.

4. CONCRETE SHALL BE CURED MINIMUM 48 HOURS BEFORE GROUTING AND PROCEEDING TO THE NEXT STAGE.

5. SHORE & BRACE WHERE NECESSARY TO ENSURE THE SAFETY & STABILITY OF THE EXISTING STRUCTURE DURING UNDERPINNING.

6. WEEPING TILE IS TO DRAIN TO THE STORM SEWER, DITCH, DRYWELL OR INSTALL COVERED SUMP PIT WITH AN AUTOMATIC PUMP.

- ## 7. FOOTINGS

558mmx152mm POURED CONC. FOOTING
ALL FOOTINGS SHALL REST ON
NATURAL UNDISTURBED SOIL OR
COMPACTED GRANULAR FILL

- ## 8. CONCRETE

MINIMUM COMPRESSIVE STRENGTH
OF 32MPa @ 28 DAYS W/
5% TO 8% AIR ENTRAINMENT

- ## 9. EXTERIOR STAIRS

200mm	RISE	MAXIMUM	125mm	MINIMUM
210mm	RUN	MINIMUM	355mm	MAXIMUM
235mm	TREAD	MINIMUM	355mm	MAXIMUM

- ## 10.INSULATION

- MIN. (R20) INSULATION & VAPOUR BARRIER ON THE INSIDE FACE OF THE EXPOSED FOUNDATION WALL
- MIN. (R20) INSULATION FOR 600mm BELOW GRADE AT WALKOUT LANDING

- ## 11. RETAINING WALL

190mm POURED CONCRETE
W/ NO REINFORCING REQUIRED FOR
WALL HEIGHTS TO A MAX. OF 1200mm
PROVIDE 25M VERTICAL REINFORCEMENT
@ 600mm O.C. AND A BOND BEAM
CONTAINING AT LEAST ONE 15M REINFORCEMENT
FOR BACKFILL HEIGHTS TO A MAX. OF 2400mm

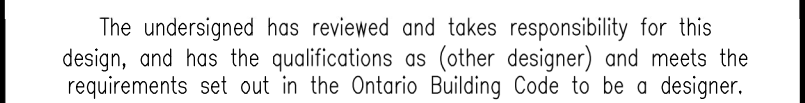
- ## 12. PRE-ENGINEERED GUARDS

1070mm HIGH WHERE DISTANCE FROM GRADE
TO BOTTOM OF WALKOUT EXCEEDS 1800mm;
900mm FOR LESSER HEIGHTS. MAXIMUM 100mm
BETWEEN VERTICAL PICKETS



Revision	No.	By	DD/MM/YY
----------	-----	----	----------

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS.
ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF WORK. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR OR SUBCONTRACTOR PROCEED IN UNCERTAINTY.
REVIEWED UNDER THE 2012 O.B.C.A.S AMENDED



Qualification Information
Required unless design is exempt under Div. C-3.2.5. of the building code.
Designed under 3.2.4.1.(3),(d)

Peter Vozikas	106605
Name	BCIN

DESIGNER:



OWNER:

Kuldeep Singh, Harmonjot
Grewal, Navkiranpreet Kaur
10 Whetstone Crescent
Guelph, Ontario
212-215-7870

PROJECT:

NEW SINGLE FAMILY
DWELLING

SHEET TITLE:

WALKOUT DETAILS

SCALE:
N.T.S.

DATE: JAN/2018

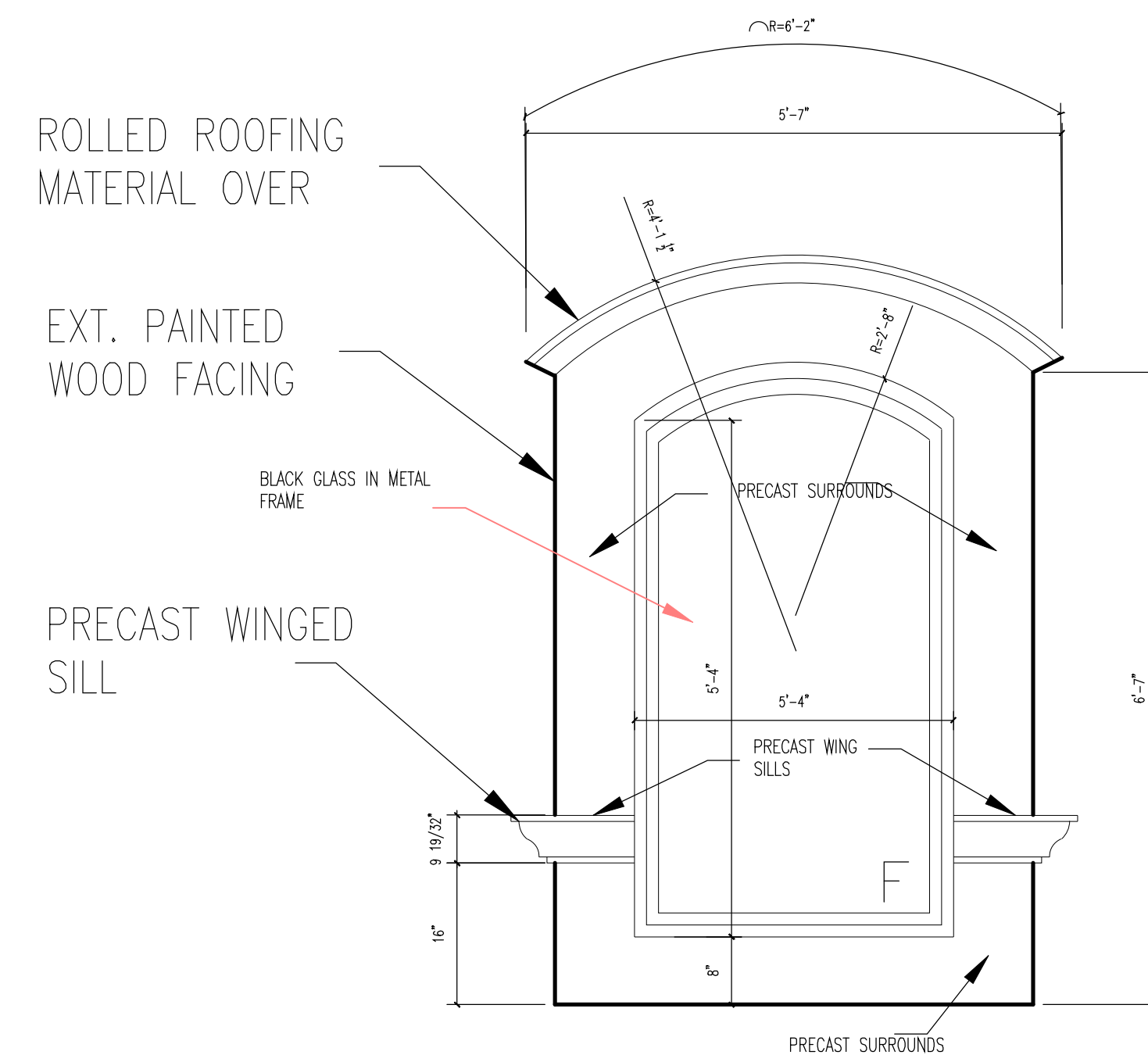
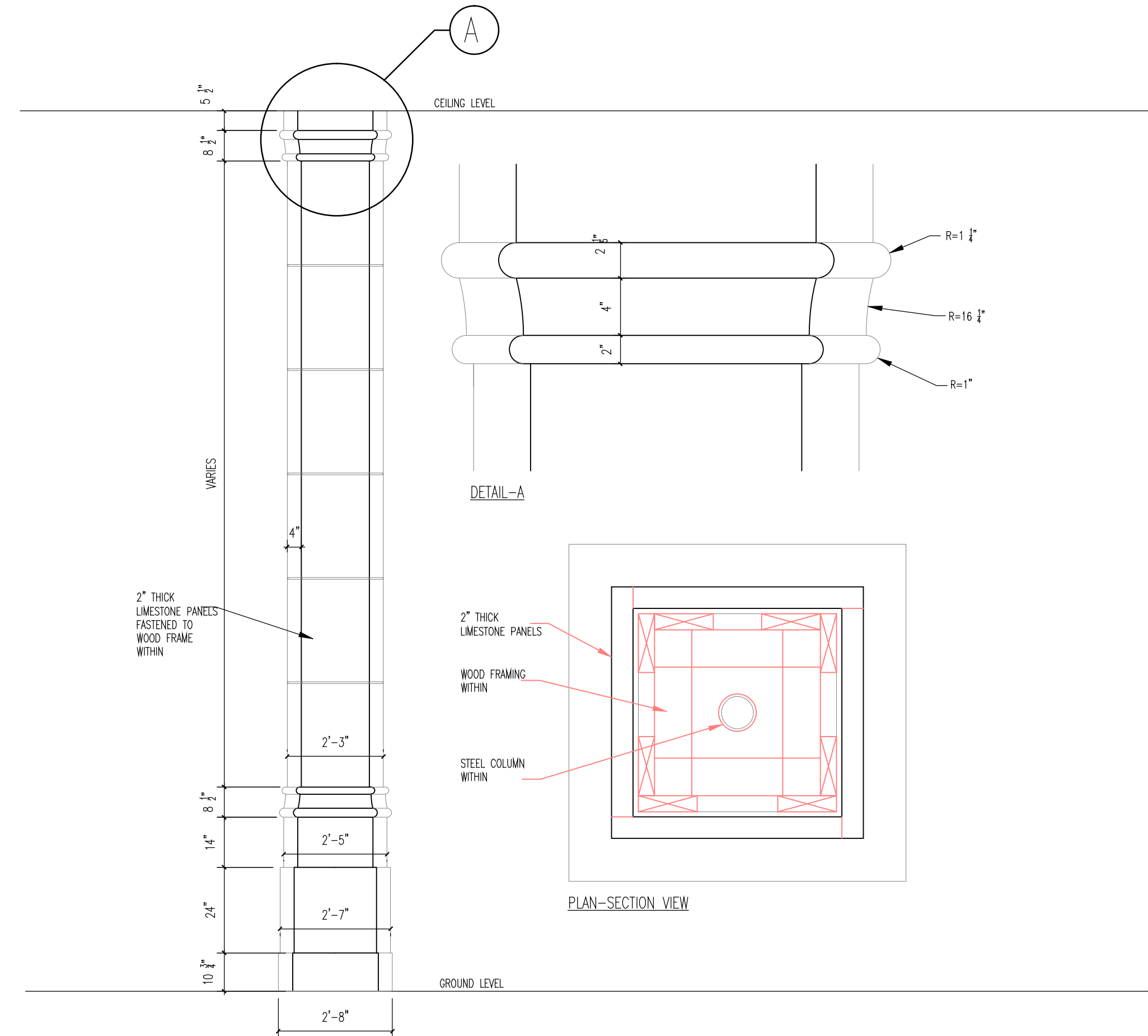
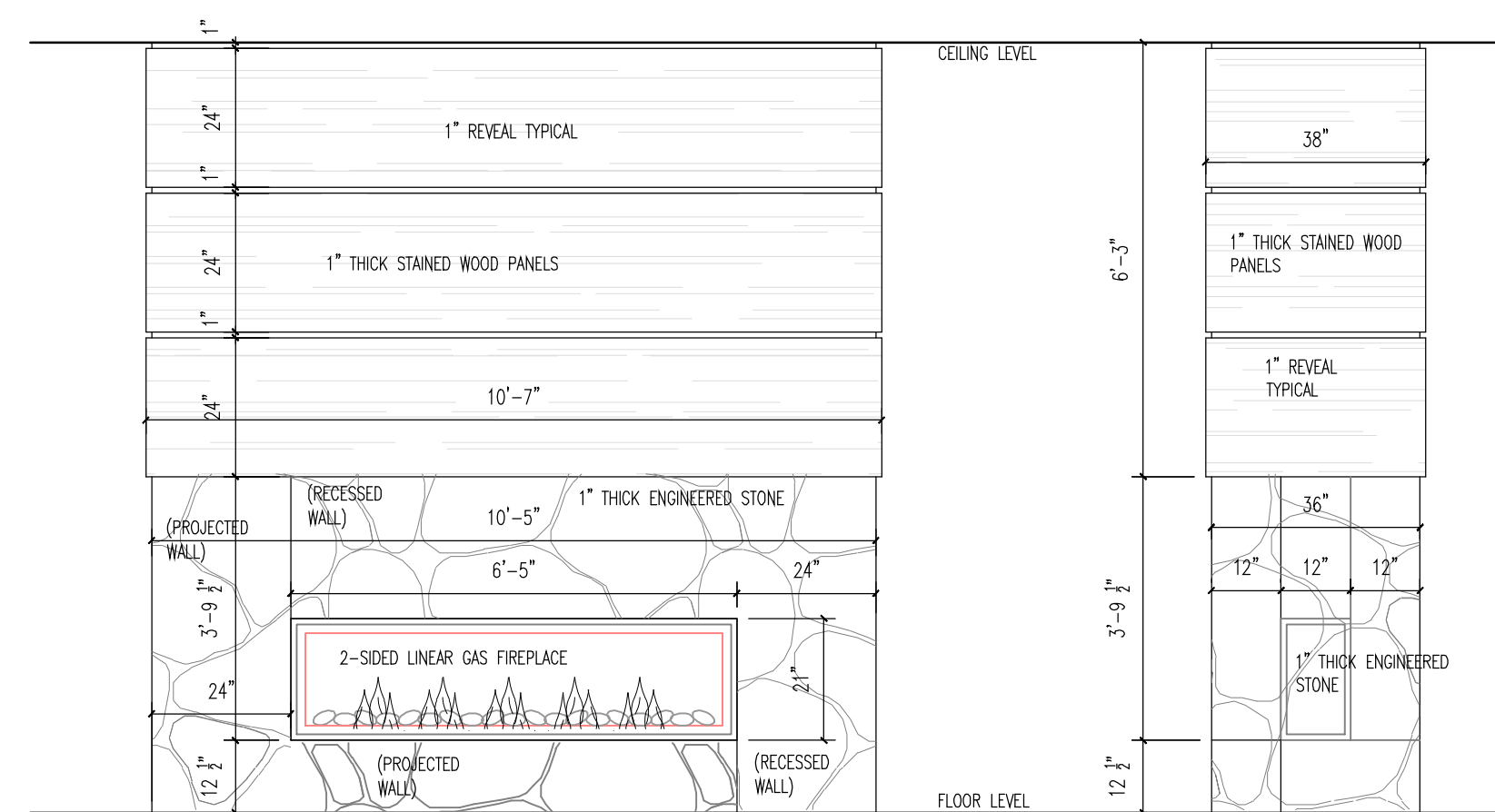
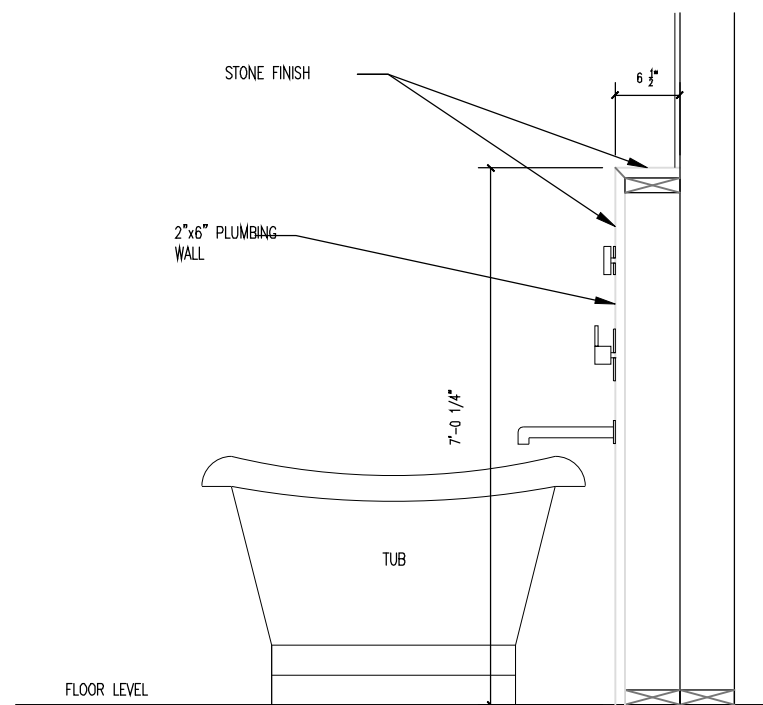
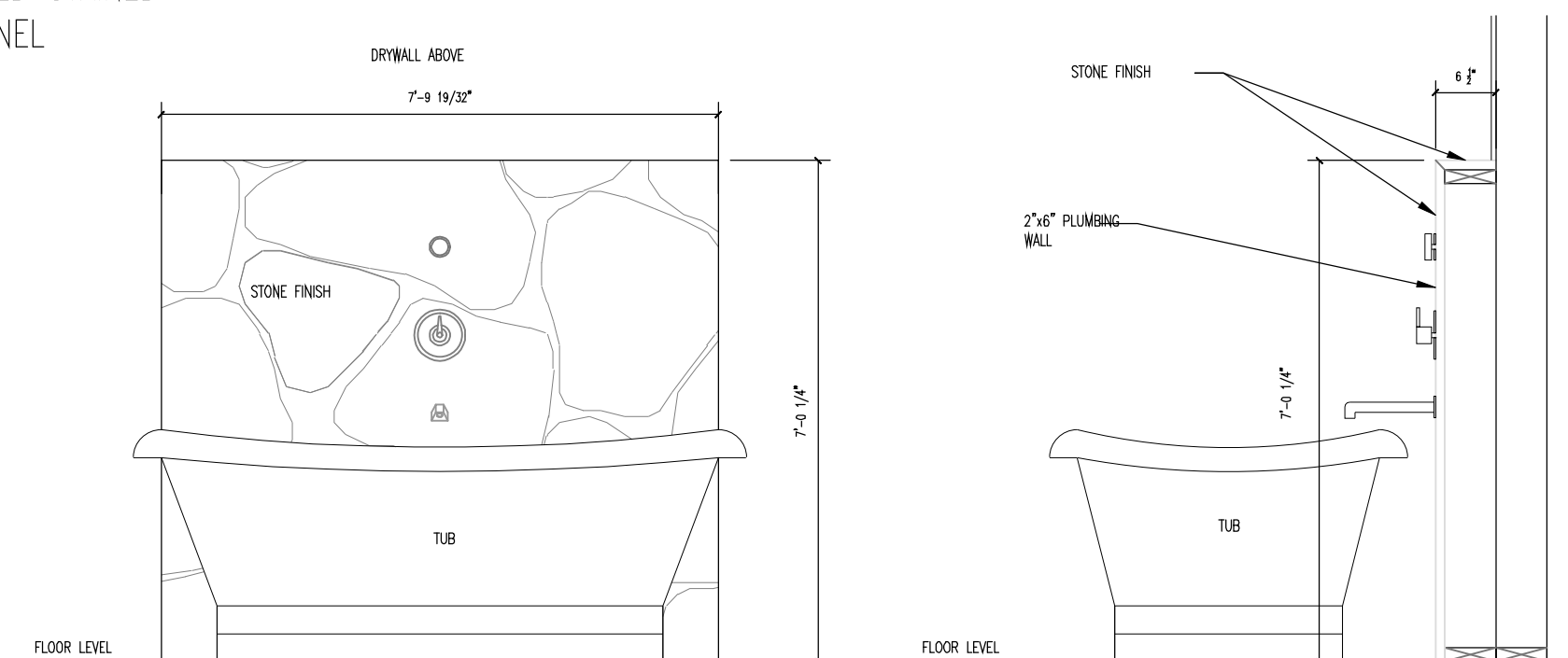
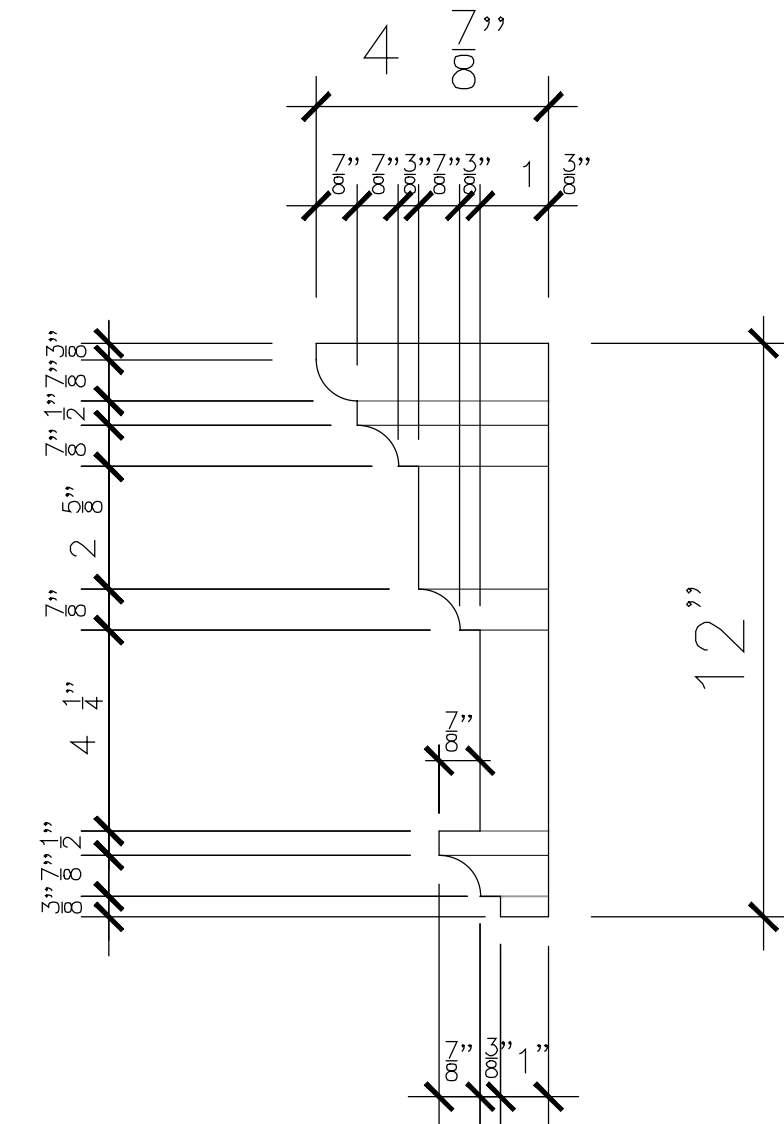
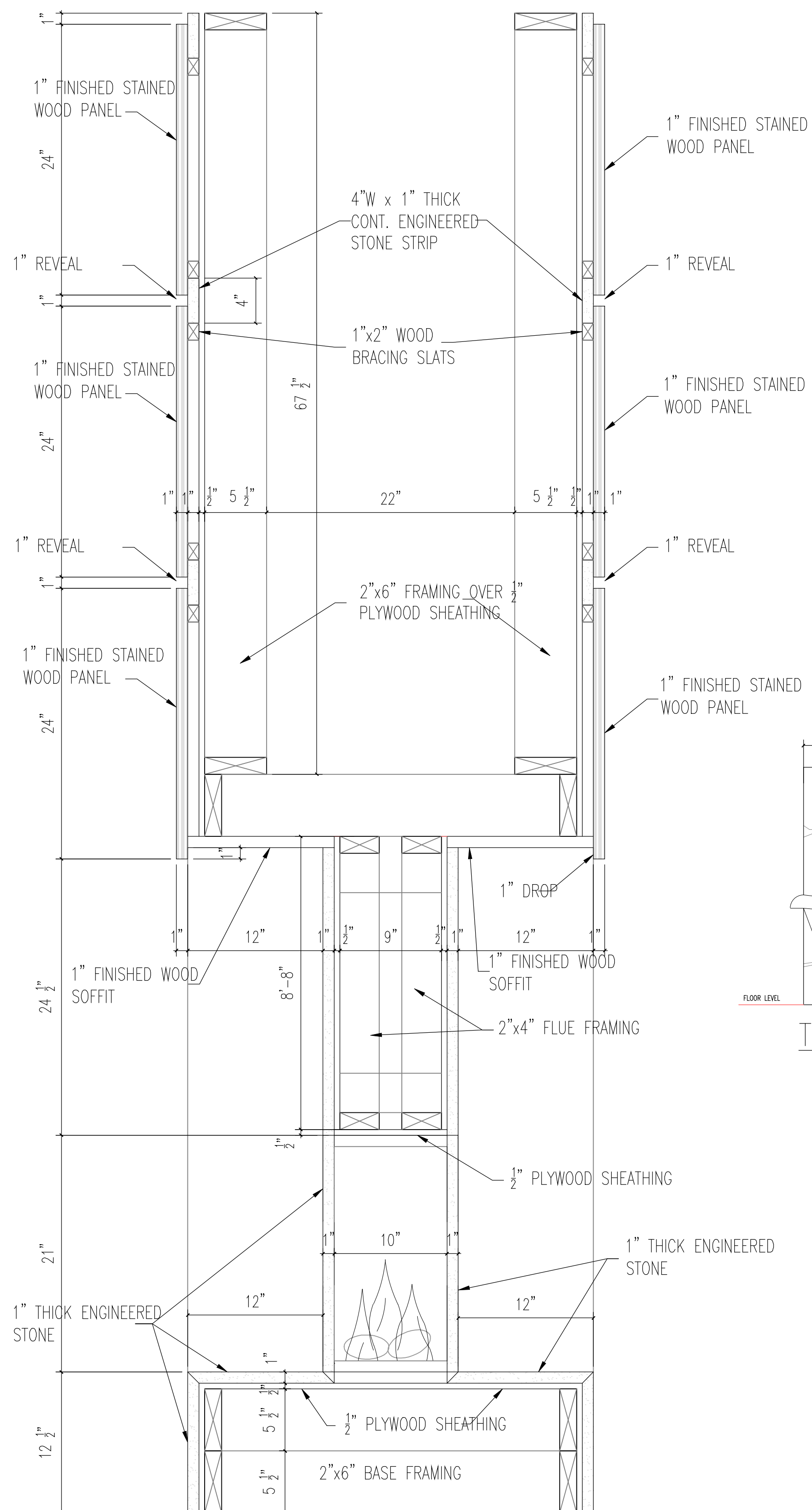
DRAWN BY: PV

CHECKED BY:	PV
-------------	----

PROJECT NO:

SHEET NO:

SHEET NO: **A14**



CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS.
ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF WORK. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR OR SUBCONTRACTOR PROCEED IN UNCERTAINTY.
REVIEWED UNDER THE 2012 O.B.C. AS AMENDED



The undersigned has reviewed and takes responsibility for this design, and has the qualifications as (other designer) and meets the requirements set out in the Ontario Building Code to be a designer.

Qualification Information
Required unless design is exempt under Div. C-3.2.5. of the building code.
Designed under 3.2.4.1.(3),(d)

Peter Vozikas	106605
Name	BCIN

DESIGNER:



ARCHITECTURAL DESIGNS FOR:
LUXURY RESIDENTIAL & COMMERCIAL SPACE
416-500-8989 VOZKKASS@HOTMAIL.COM
www.empiredesignhomes.com

OWNER: Kuldeep Singh, Harmonjot
Grewal, Navkiranpreet Kaur
10 Whetstone Crescent
Guelph, Ontario
212-215-7870

PROJECT: NEW SINGLE FAMILY DWELLING

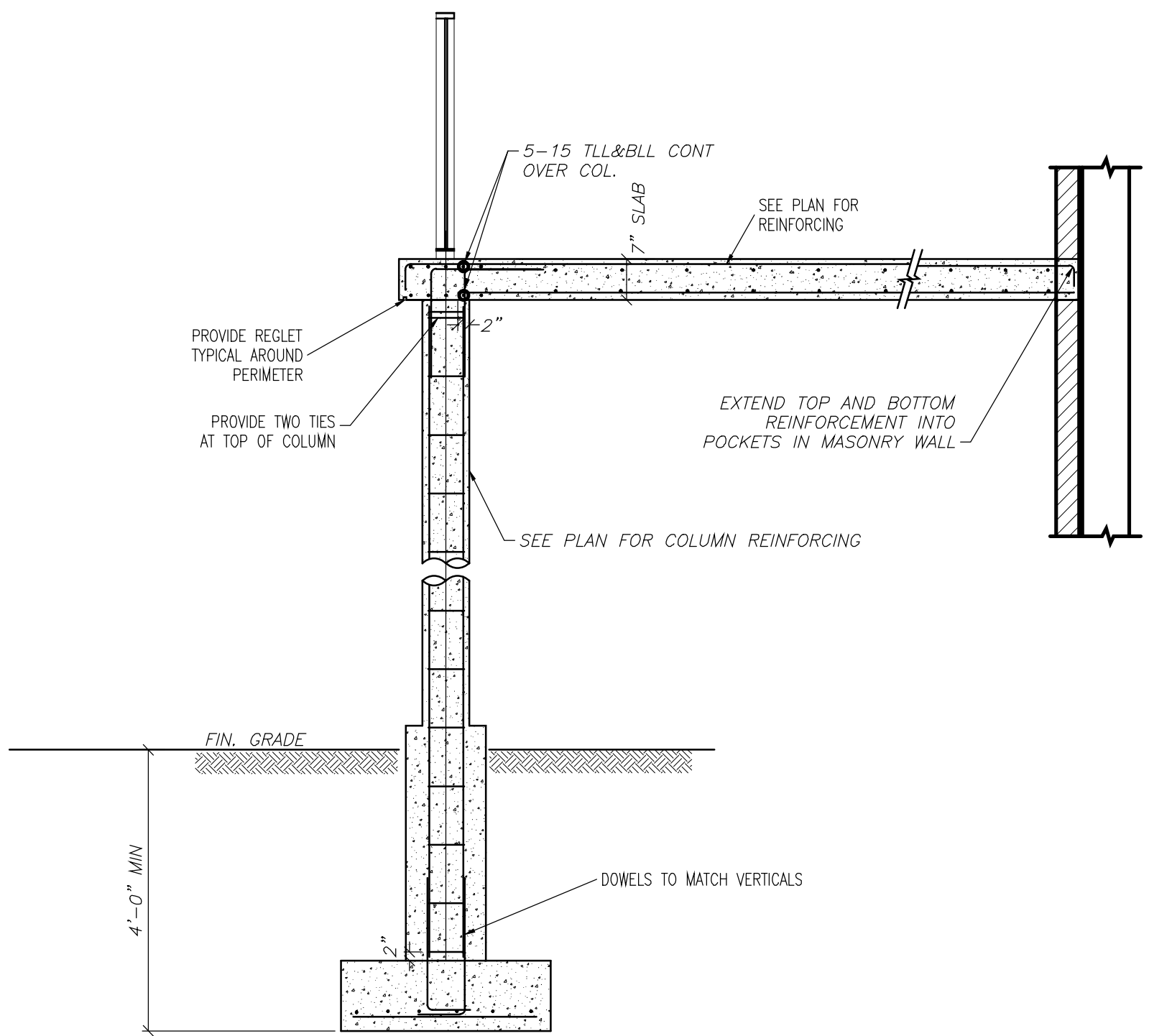
SHEET TITLE:

OTHER DETAILS

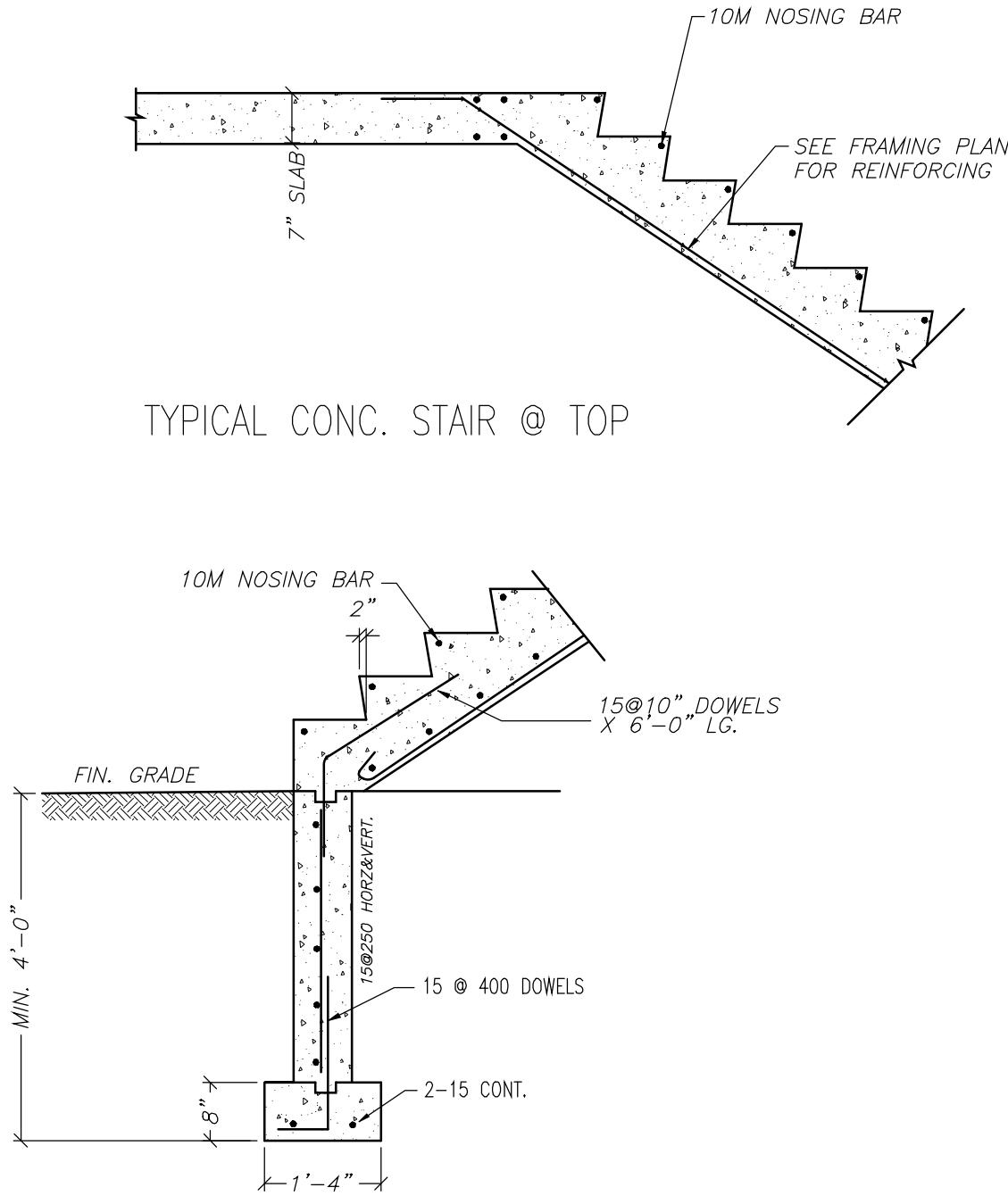
SCALE: N.T.S.	DATE: JAN/2018
------------------	-------------------

DRAWN BY: PV	CHECKED BY: PV
-----------------	-------------------

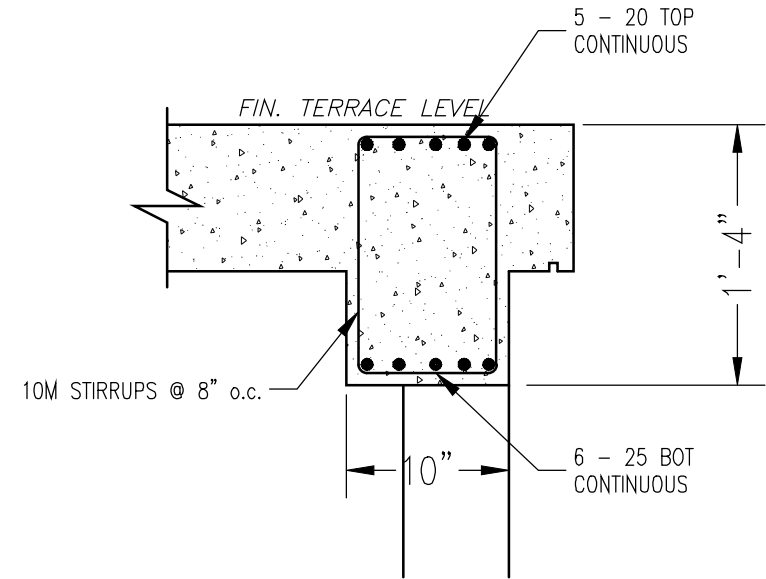
PROJECT NO:	SHEET NO: A15
-------------	-------------------------



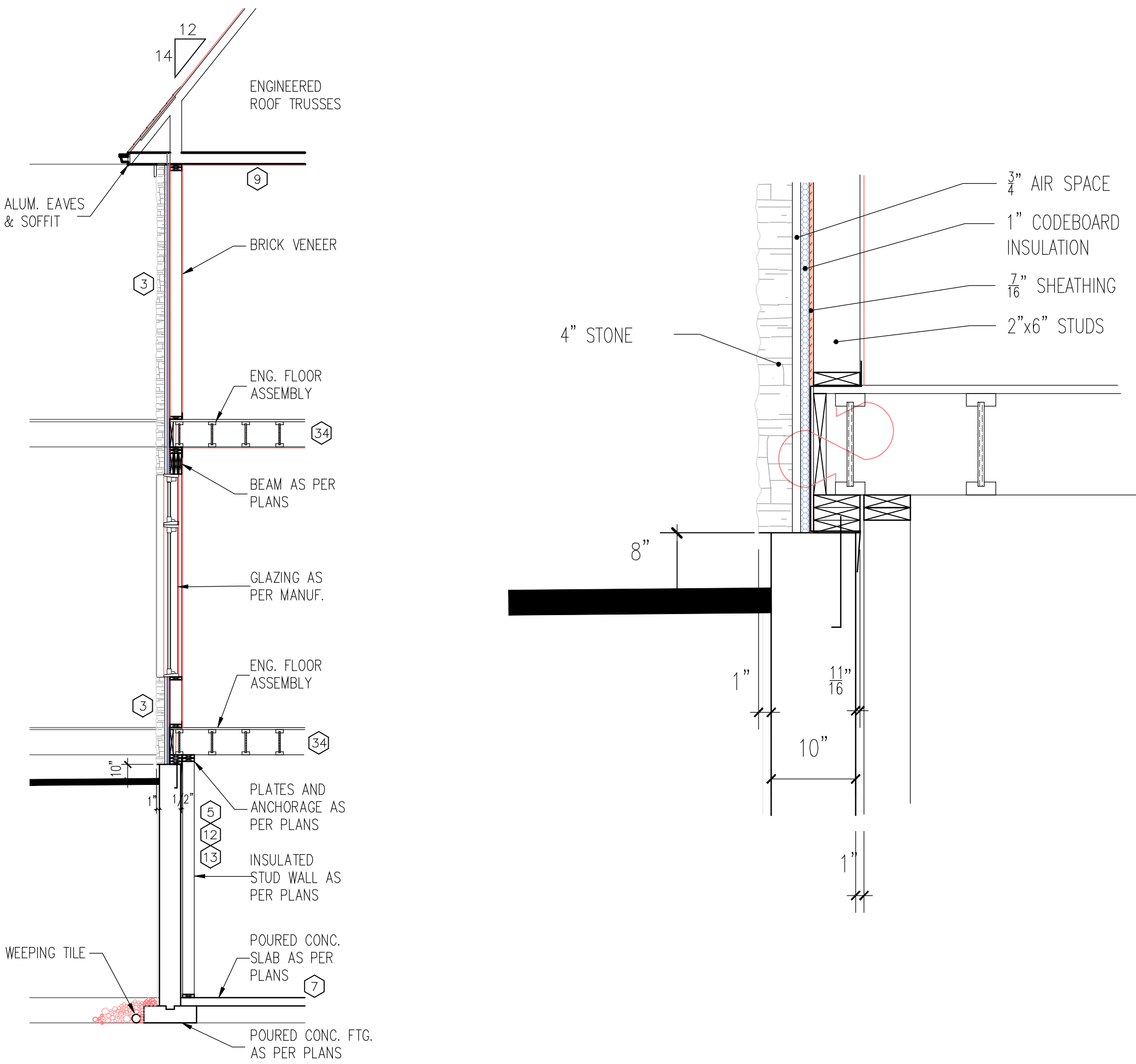
TYPICAL CONC. PORCH SLAB AND WALL



TYPICAL CONC. STAIR @ BOTTOM



TYPICAL CONC. BEAM



TYPICAL 2-STOREY WALL SECTION - D1

TYPICAL WALL TO FDN. CONNECTION - D2

MATERIALS

1 PROVIDE ONLY NEW STRUCTURAL MATERIALS IN ACCORDANCE WITH THE REFERENCE STANDARDS AND THE FOLLOWING, UNLESS OTHERWISE NOTED.

1.1 CONCRETE:

1.1.1 EXPOSED TO WEATHER: $F'c = 35 \text{ MPa}$ AT 28 DAYS, SLUMP 80mm (3"), EXPOSURE CLASS C-1, W/C RATIO 0.40, AIR CONTENT 5%-8%, AND CONCRTE TO HAVE A MINIMUM CEMENTING MATERIAL CONTENT OF 320 kg/m³.

1.2 REINFORCING STEEL: GRADE 400.

1.3 BLOCK: COMPRESSIVE STRENGTH = 12.5 MPa (MIN.) ON NET AREA.

1.4 MORTAR: TYPE S UNLESS NOTED.

1.5 MASONRY GROUT: CONFORM TO CSA A179, 10 MPa MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS, 10" SLUMP, MAXIMUM AGGREGATE SIZE 3/8".

EXECUTION

1. FOUNDATIONS

1.1. FOUND FOOTINGS ON SOIL CAPABLE OF SUSTAINING 200 kN/m² (4000 psf).

1.2. FOUND ALL FOOTINGS WHICH WILL BE EXPOSED TO FROST ACTION IN THE COMPLETED BUILDING A MINIMUM OF 1200 mm (4'-0") BELOW FINISHED GRADE.

1.3. DO NOT EXCEED A RISE OF 7 IN A RUN OF 10 IN THE LINE OF SLOPE BETWEEN ADJACENT FOOTING EXCAVATIONS OR ALONG STEPPED FOOTINGS. FOR STEPPED FOOTINGS, USE STEPS NOT EXCEEDING 600 mm (2'-0") IN HEIGHT AND 1200 mm (4'-0") (MIN.) IN LENGTH.

1.4. SOIL BEARING CAPACITY SPECIFIED MUST BE VERIFIED BY THE SOIL ENGINEER PRIOR TO THE PLACING OF FOOTINGS AND ANY NON-CONFORMANCE WITH THE SPECIFIED MINIMUM CAPACITIES MUST BE IMMEDIATELY REPORTED TO THE STRUCTURAL ENGINEERS.

2. CONCRETE

2.1. THE CONTRACTOR SHALL ENSURE THAT REINFORCING STEEL IS ADEQUATELY BRACED AGAINST MOVEMENT DURING CONCRETE PLACING.

Revision	No.	By	DD/MM/YY
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF WORK. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR OR SUBCONTRACTOR PROCEED IN UNCERTAINTY. REVIEWED UNDER THE 2012 O.B.C AS AMENDED.			



The undersigned has reviewed and takes responsibility for this design, and has the qualifications as (other designer) and meets the requirements set out in the Ontario Building Code to be a designer.	
Qualification Information Required unless design is exempt under Div. C-3.2.5. of the building code. Designed under 3.2.4.1.(3),(d)	
Peter Vozikas Name	106605 BCIN

DESIGNER:

EMPIRE
DESIGN
COMPANY

PETER VOZIKAS
ARCHITECTURAL DESIGNS FOR:
LUXURY RESIDENTIAL & COMMERCIAL SPACE
416-500-8989 VOZKKASS@HOTMAIL.COM
www.empiredesignhomes.com

OWNER:

Kuldeep Singh, Harmonjot
Grewal, Navkiranpreet Kaur
10 Whetstone Crescent
Guelph, Ontario
212-215-7870

PROJECT:

NEW SINGLE FAMILY
DWELLING

SHEET TITLE:

OTHER DETAILS

SCALE: N.T.S.	DATE: JAN/2018
DRAWN BY: PV	CHECKED BY: PV
PROJECT NO:	SHEET NO: A16



**STRIK
BALDINELLI
MONIZ**
CIVIL - STRUCTURAL ENGINEERS

STRUCTURAL SPECIFICATIONS FOR O.B.C. PART 9 BUILDINGS

ONTARIO, CANADA

FILE: SBM - SS1 - PART 9

DATE: JAN. 07, 2019

SHEET NO.: SS1

DRAWN BY: KF

GENERAL

1. THE ENGINEERING REVIEW BY STRIK BALDINELLI MONIZ LIMITED (SBM) IS FOR THE STRUCTURAL ITEMS NOTED ON THE SEALED DESIGN DOCUMENTS (PLANS, DETAILS, REPORT, ETC.) FOR WHICH THERE ARE NO PROVISIONS IN PART 9 OF THE ONTARIO BUILDING CODE (O.B.C.).
2. THE ENGINEERING REVIEW BY SBM IS LIMITED TO THE SITE/ADDRESS SHOWN ON THE DRAWINGS/REPORT AND CANNOT BE USED FOR ANY OTHER PROJECT WITHOUT EXPRESSED WRITTEN CONSENT BY SBM.
3. THE SEALED DESIGN DOCUMENTS ARE PREPARED BY SBM SOLELY FOR THE USE BY THE PARTY WITH WHOM SBM HAS ENTERED INTO A CONTRACT (HEREBY REFERRED TO AS THE CLIENT).
4. SBM'S REVIEW IS BASED ON THE INFORMATION (PLANS, ELEVATIONS, SECTIONS, DETAILS, GEOTECHNICAL REPORTS, SHOP DRAWINGS FOR PRE-ENG ELEMENTS, ETC.) PROVIDED TO US BY THE CLIENT AT THE TIME OF OUR REVIEW. SBM IS NOT RESPONSIBLE FOR ANY ERRORS TO, OR OMISSIONS FROM, THIS INFORMATION. IT IS THE RESPONSIBILITY OF THE CLIENT TO PROVIDE US WITH ALL RELEVANT INFORMATION, TOGETHER WITH ANY ADDITIONS OR CHANGES THERETO.
5. THE CLIENT AND ALL OTHERS INVOLVED IN THE CONSTRUCTION OF THIS HOUSE OR SMALL BUILDING SHALL CONFORM TO THE REQUIREMENTS OF O.B.C. PART 9 INCLUDING ALL STANDARDS REFERENCED THEREIN, AND ANY APPLICABLE ACTS OF AUTHORITY HAVING JURISDICTION.
6. THIS SPECIFICATION SHEET IS INTENDED TO SUPPLEMENT THE SEALED DESIGN DOCUMENTS PROVIDED AND O.B.C. PART 9 AS IT DOES NOT INCLUDE ALL REQUIREMENTS PROVIDED THEREIN. IF THE CLIENT REQUIRES FURTHER CLARIFICATION PLEASE CONTACT SBM OR THE LOCAL BUILDING DIVISION.
7. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS - O.REG. 213/91.
8. SBM HAS ASSUMED THAT ANY REQUIRED INSPECTIONS WILL BE PERFORMED BY THE LOCAL BUILDING DIVISION. IT IS THE RESPONSIBILITY OF THE CLIENT TO PROVIDE A MINIMUM OF 48 HOURS NOTICE FOR ANY INSPECTIONS REQUIRED TO BE PERFORMED BY SBM.
9. THE DESIGN AND CONSTRUCTION OF ANY TEMPORARY SHORING REQUIRED TO CONSTRUCT THE WORKS HEREIN IS THE RESPONSIBILITY OF OTHERS.
10. WHERE MULTIPLE DESIGN OPTIONS ARE PRESENTED, IT IS THE RESPONSIBILITY OF THE CLIENT, IN CONSULTATION WITH THE OWNER, TO SELECT THE APPROPRIATE ALTERNATIVE.

FOOTINGS AND FOUNDATIONS

1. ALL CONCRETE SHALL CONFORM TO O.B.C. 9.3.1. AND ALL FOOTINGS AND FOUNDATIONS SHALL CONFORM TO O.B.C. 9.15. UNLESS NOTED OTHERWISE (U.N.O.) ON THE SEALED DESIGN DOCUMENTS PROVIDED.
2. FOUNDATIONS HAVE BEEN DESIGNED ASSUMING AN ALLOWABLE SOIL BEARING PRESSURE OF 100kPa (2090psf). IT IS THE RESPONSIBILITY OF THE CLIENT TO INFORM SBM IF THIS BEARING PRESSURE CANNOT BE ACHIEVED.
3. FOUNDATION WALLS SUPPORTING DRAINED EARTH HAVE BEEN DESIGNED FOR THE LOAD PROVIDED IN 9.4.4.6.(1)(a). ENSURE PROVISIONS ARE MADE FOR APPROPRIATE DRAINAGE OF GROUNDWATER.
4. ENSURE ALL FOUNDATION WALLS ARE Laterally SUPPORTED PRIOR TO BACKFILLING.
5. ALL REINFORCING STEEL SHALL CONFORM TO THE REQUIREMENTS OF CAN/CSA G30. REINFORCING BARS SHALL BE DEFORMED HI-BOND HARD GRADE WITH A MINIMUM YIELD STRENGTH OF 400MPa.

WOOD-FRAME CONSTRUCTION

1. ALL LUMBER AND WOOD PRODUCTS SHALL CONFORM TO O.B.C. 9.3.2. AND ALL WOOD-FRAME CONSTRUCTION SHALL CONFORM TO O.B.C. 9.23. U.N.O. ON THE SEALED DESIGN DOCUMENTS PROVIDED.
2. ALL STRUCTURAL COMPOSITE LUMBER (SCL) SHALL BE 2.0E WITH $F_b=2950$ (USA ASD) OR $F_b=5450$ (CANADIAN LSD) OR BETTER. FASTEN MULTI-PLY SCL BEAMS AS PER MANUFACTURER'S SPECIFICATIONS. PROVIDE 3" BEARING LENGTH AT ENDS U.N.O.
3. ALL PRE-ENGINEERED SYSTEMS (ROOF TRUSSES, FLOOR JOISTS, ETC.) SHALL BE DESIGNED AND SEALED BY A LICENSED PROFESSIONAL ENGINEER OF ONTARIO. PROVIDE LAYOUTS AND SEALED DESIGN SHEETS TO SBM AND THE LOCAL BUILDING DIVISION.
4. ENSURE THE EXTERIOR WALLS ARE BRACED AS PER O.B.C. 9.23.10.2. TO PROVIDE LATERAL SUPPORT FOR THE BUILDING.
5. PROVIDE SUFFICIENT LATERAL SUPPORT FOR THE TOP OF ALL DROPPED BEAMS AND LINTELS TO PREVENT LATERAL TORSIONAL BUCKLING.
 - 5.1. AN EXAMPLE OF SUFFICIENT LATERAL SUPPORT IS (2) 3/4" NAILS PER JOIST FOR LEDGER STRIP TO WOOD BEAM CONNECTION (AS PER O.B.C. TABLE 9.23.3.4.)
6. ALL WOOD COLUMNS SHALL CONFORM TO O.B.C. 9.17. U.N.O. PROVIDE A BUILT-UP WOOD STUD COLUMN EQUAL TO THE WIDTH OF THE BEAM/GIRDER TRUSS UNDER ALL BEAMS/GIRDER TRUSSES, MINIMUM. U.N.O. CONTINUE ALL COLUMNS DOWN TO FOUNDATION OR FULL BEARING ON BEAMS. BLOCK SOLID IN JOIST SPACES, TYPICAL (TYP.).
7. ALL LINTELS SHALL HAVE 1 JACK STUD + 1 KING STUD AT ENDS U.N.O.
8. ALL GUARDS SHALL CONFORM TO O.B.C. 9.8.8. AND SUPPLEMENTARY STANDARD SB-7 U.N.O.
9. ALL POST LOADS SHOWN ON DRAWINGS ARE UNFACTORED. ALL ADJUSTABLE STEEL POSTS (E.G. SUPER POST, JR POST, ETC.) SHALL BE DESIGNED AND APPROVED BY CCMC WITH APPROPRIATE FACTORS OF SAFETY.

ROOF AND CEILING FRAMING

1. ALL ROOF AND CEILING FRAMING SHALL CONFORM TO O.B.C. 9.23.13. U.N.O. ON THE SEALED DESIGN DOCUMENTS PROVIDED.
2. ALL ROOF RAFTERS/JOISTS AND CEILING JOISTS SHALL CONFORM TO THE SPANS SHOWN IN O.B.C. PART 9 TABLES A-3 TO A-7.
3. WHERE REQUIRED, PROVIDE INTERMEDIATE SUPPORT FOR ROOF RAFTERS AS PER O.B.C. 9.23.13.7.
 - 3.1. SBM ASSUMES THAT COLLAR TIES WILL BE USED TO PROVIDE INTERMEDIATE SUPPORT INSTEAD OF STRUTS OR DWARF WALLS U.N.O. (I.E. ALL ROOF RAFTERS BEAR ON EXTERIOR WALLS ONLY AND INTERIOR WALLS SUPPORT CEILING JOISTS ONLY U.N.O.)
4. WHERE THE RIDGE IS UNSUPPORTED, ROOF RAFTERS SHALL BE TIED TO THE CEILING JOISTS (OR SOLID BLOCKING @ 3'-11" O.C. MAX.) AT THEIR BASES AND NAILED AS PER O.B.C. TABLE 9.23.13.8. TO PREVENT OUTWARD MOVEMENT.
5. OVER-FRAMED AREAS SHALL BE SUPPORTED ON LOWER ROOF RAFTERS/JOISTS BY 2x4 STRUTS @ 24" O.C. EACH WAY MIN., U.N.O.
6. WOOD ROOF TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH O.B.C. 9.23.13.11. OR PART 4 IF THEIR SPAN EXCEEDS 40'-0" (AS PER O.B.C. 9.23.1.1.).
 - 6.1. IF THE TRUSSES ARE DESIGNED IN ACCORDANCE WITH O.B.C. PART 4, THE DESIGN OF UPLIFT ANCHORS SHALL BE PROVIDED BY THE TRUSS SUPPLIER ALONG WITH LAYOUTS AND SEALED DESIGN SHEETS.
 - 6.2. TRUSSES SHALL BE INSTALLED AS PER TRUSS PLATE INSTITUTE OF CANADA "HANDLING, ERECTION, AND BRACING OF WOOD TRUSSES" GUIDELINE.



STRUCTURAL STEEL

1. ALL STEEL BEAMS SHALL CONFORM TO O.B.C. 9.23.4.3. AND ALL STEEL COLUMNS SHALL CONFORM TO O.B.C. 9.17. U.N.O. ON THE SEALED DESIGN DOCUMENTS PROVIDED.
2. ALL STRUCTURAL STEEL SHALL MEET OR EXCEED THE REQUIREMENTS FOR GRADE 350W IN CAN/CSA-G40.21 U.N.O. BELOW.
 - 2.1. ANCHOR BOLTS ARE PERMITTED TO BE GRADE 300W IN CAN/CSA G40.21 (300MPa) OR ASTM A36 (248MPa).
 - 2.2. TOP/BASE PLATES ARE PERMITTED TO BE GRADE 300W IN CAN/CSA G40.21 (300MPa).
3. ALL WELDING SHALL BE PERFORMED BY A CANADIAN WELDING BUREAU CERTIFIED WELDER AND CONFORM TO ALL APPLICABLE STANDARDS.
4. PROVIDE SUFFICIENT LATERAL SUPPORT FOR STEEL BEAMS TO PREVENT LATERAL TORSIONAL BUCKLING. SUFFICIENT LATERAL SUPPORT EXAMPLES:
 - 4.1. DROPPED STEEL BEAM - AS PROVIDED IN O.B.C. 9.23.4.3.(3) OR A 2x6 TOP PLATE W/ 3/8" THRU-BOLTS C/W NUTS & WASHERS OR HILTI X-U FASTENERS @ 24" O.C. STAGGERED INTO THE TOP FLANGE & (2) 3/4" NAILS FROM EACH JOIST INTO THE TOP PLATE.
 - 4.2. FLUSH STEEL BEAM - SOLID BLOCKING (2x LUMBER & PLYWOOD) BOLTED TO THE BEAM WEB WITH 1/2" THRU-BOLTS @ 16" O.C. STAGGERED TOP & BOTTOM AND APPROVED FACE-MOUNT HANGERS FOR THE JOIST TO BLOCKING CONNECTION.
5. WHERE A STEEL PLATE SUPPORTING MASONRY VENEER IS SPECIFIED, WELD TO THE TOP OR BOTTOM FLANGE OF THE BEAM WITH (2) ROWS OF 2" LONG 1/4" FILLET WELDS @ 8" O.C. MIN., STAGGERED.
6. ALL STEEL COLUMNS SHALL BE Laterally SUPPORTED TOP & BOTTOM (E.G. BY CONCRETE SLAB ON GRADE, (2) 3/8" BOLTS, OR 2" OF 1/4" FILLET WELD MIN.). CONTINUE ALL COLUMNS DOWN TO FOUNDATION OR FULL BEARING ON BEAMS. BLOCK SOLID IN JOIST SPACES, TYP.

LOADING

1. ROOF LOADING:
 - 1.1. SNOW LOAD = AS PER O.B.C. 9.4.2.2. (NOT LESS THAN 20.9psf)
 - 1.2. DEAD LOAD = 6psf (ROOF RAFTERS/JOISTS OR TRUSS TOP CHORDS)
2. CEILING LOADING:
 - 2.1. ATTIC OR ROOF SPACE WITH LIMITED ACCESSIBILITY PRECLUDING THE STORAGE OR EQUIPMENT OR MATERIAL [AS PER O.B.C. 9.4.2.4.(1)]
 - 2.1.1. TOTAL LOAD = 7psf
 - 2.2. ACCESSIBLE ATTIC IN RESIDENTIAL OCCUPANCIES
 - 2.2.1. LIVE LOAD = 30psf
 - 2.2.2. DEAD LOAD = 12psf
 - 2.3. ACCESSIBLE ATTIC IN NON-RESIDENTIAL OCCUPANCIES
 - 2.3.1. LIVE LOAD = AS PER O.B.C. 4.1.5.
 - 2.3.2. DEAD LOAD = 12psf
3. FLOOR LOADING:
 - 3.1. LIVE LOAD = 40psf
 - 3.2. DEAD LOAD = 12psf
4. ACCESSIBLE EXTERIOR PLATFORMS (AS PER O.B.C. 9.4.2.3.3.)
 - 4.1. LIVE LOAD = GREATER OF 40psf OR SNOW LOAD
 - 4.2. DEAD LOAD = 12psf



STRIK
BALDINELLI
MONIZ

CIVIL • STRUCTURAL • MECHANICAL • ELECTRICAL

HIRA HOMES

0 WELLINGTON ROAD 34, PUSLINCH, ON

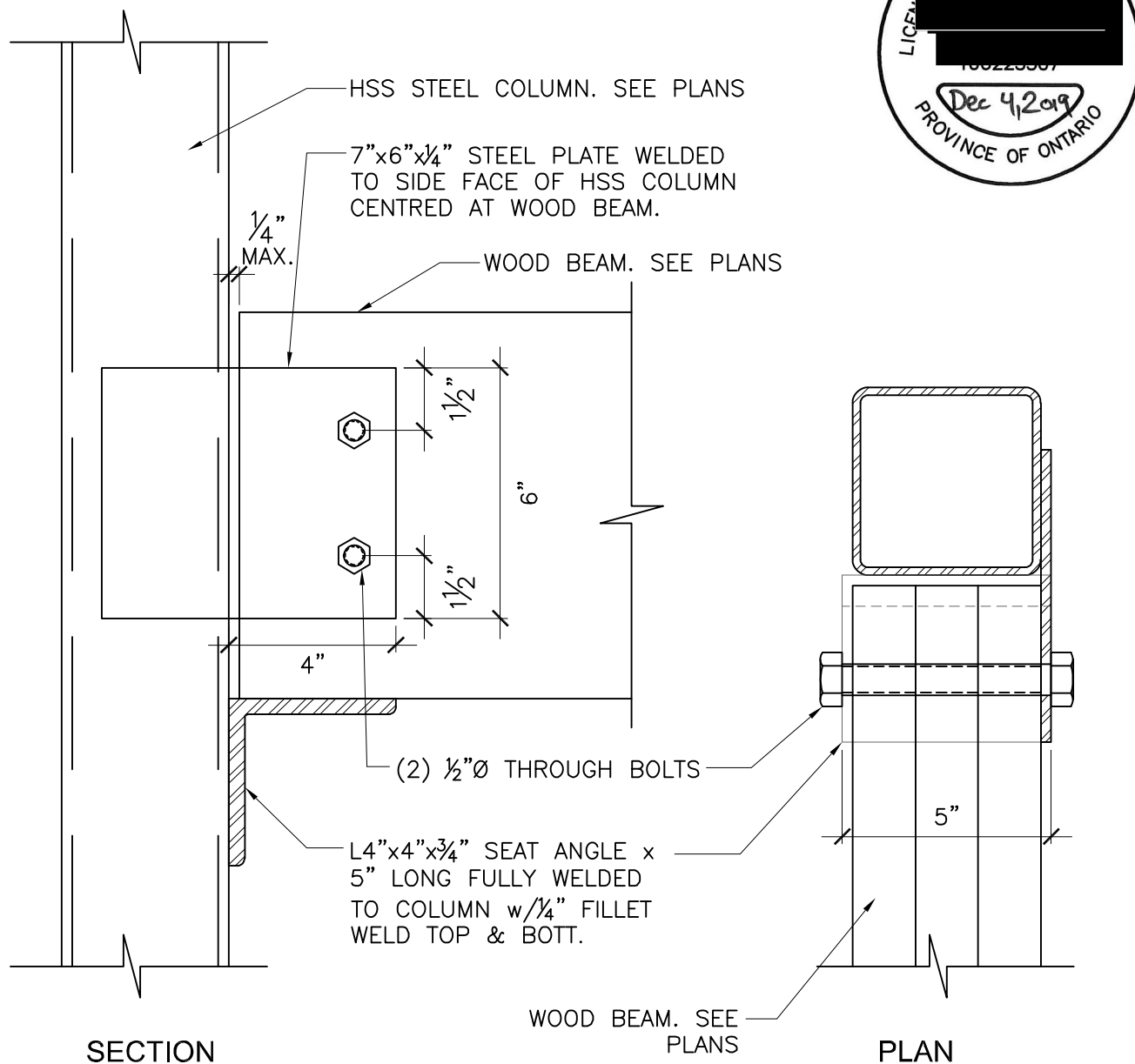
WOOD BEAM TO STEEL HSS COLUMN

FILE NO.: SBMW-19-268

DATE: NOV. 29, 2019

SHEET NO.: SK-1

DRAWN BY: EL



WOOD BEAM TO STEEL COLUMN

SCALE: N.T.S.

NOTES:

1. SEALED FOR STRUCTURAL INFORMATION ONLY. SEE SPECIFICATION SHEET SS1 ATTACHED.
2. CONNECTION IS RATED FOR 8.0 KIPS (35 KN) FACTORED LOAD.
3. BOLTS SHALL CONFORM TO ASTM A307.



**STRIK
BALDINELLI
MONIZ**

CIVIL • STRUCTURAL • MECHANICAL • ELECTRICAL

HIRA HOMES

0 WELLINGTON ROAD 34, PUSLINCH, ON

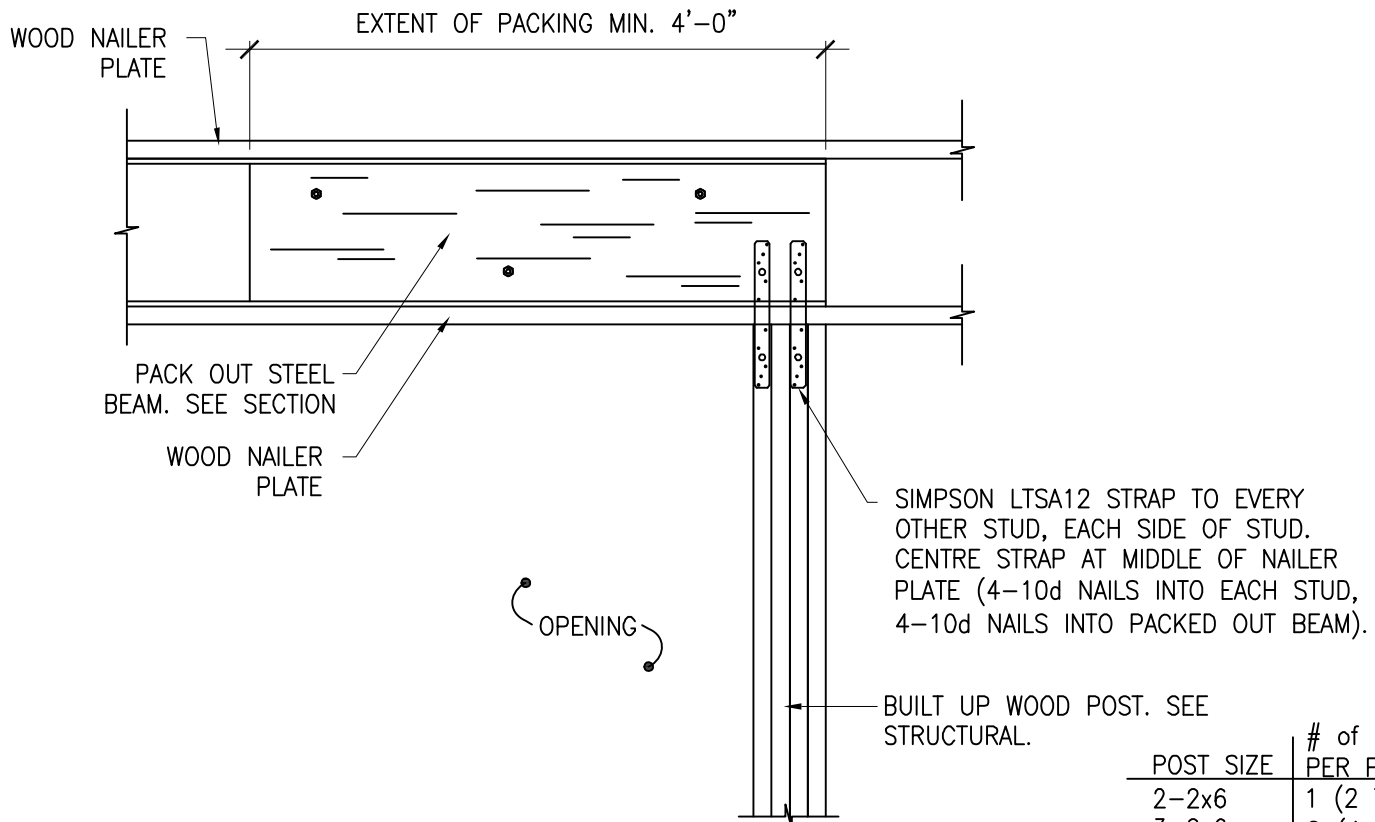
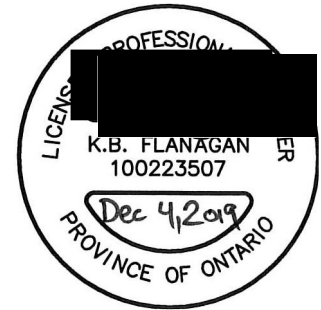
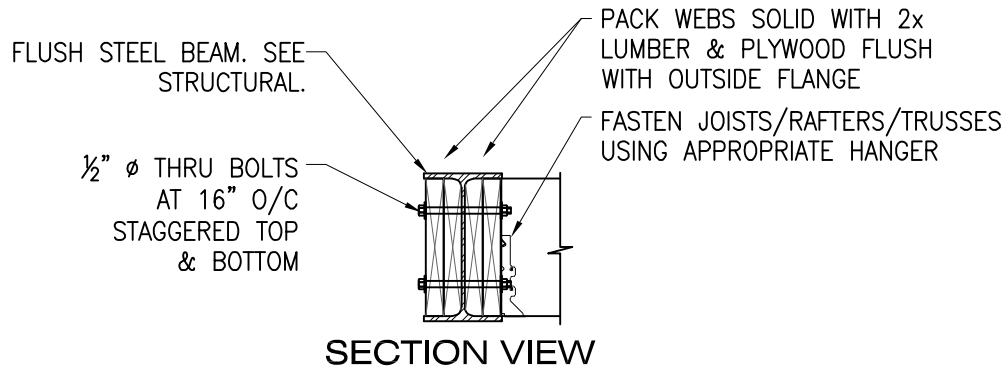
STEEL LINTEL TO WOOD SUPPORT DETAIL

FILE NO.: SBMW-19-268

DATE: NOV. 29, 2019

SHEET NO.: SK-2

DRAWN BY.: EL



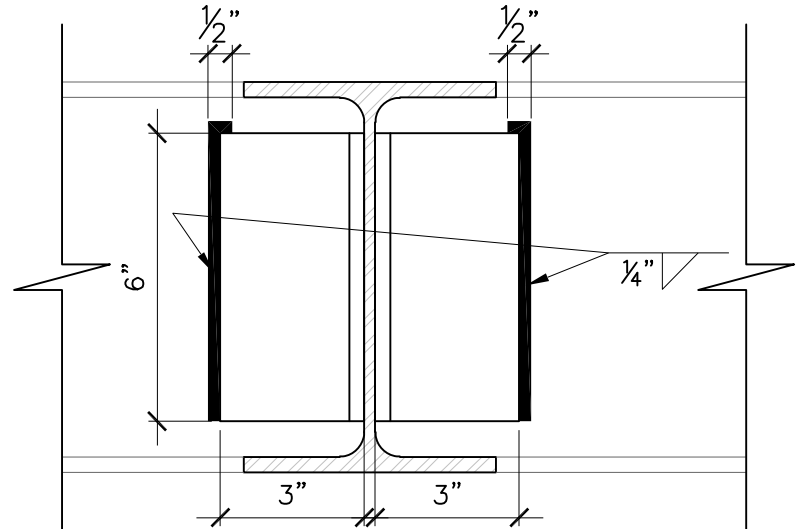
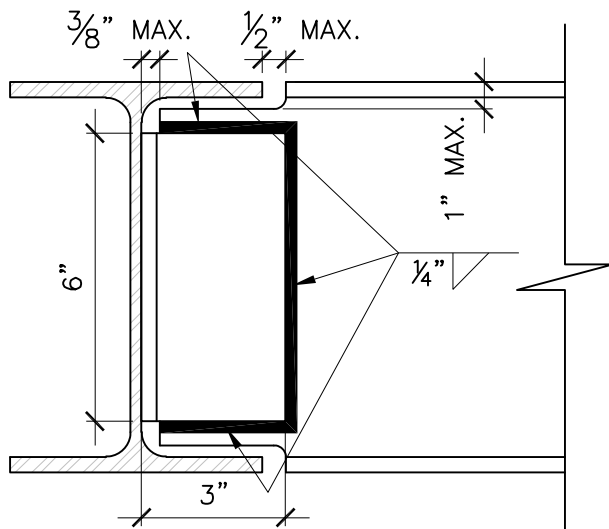
FLUSH STEEL LINTEL DETAIL

SCALE: N.T.S

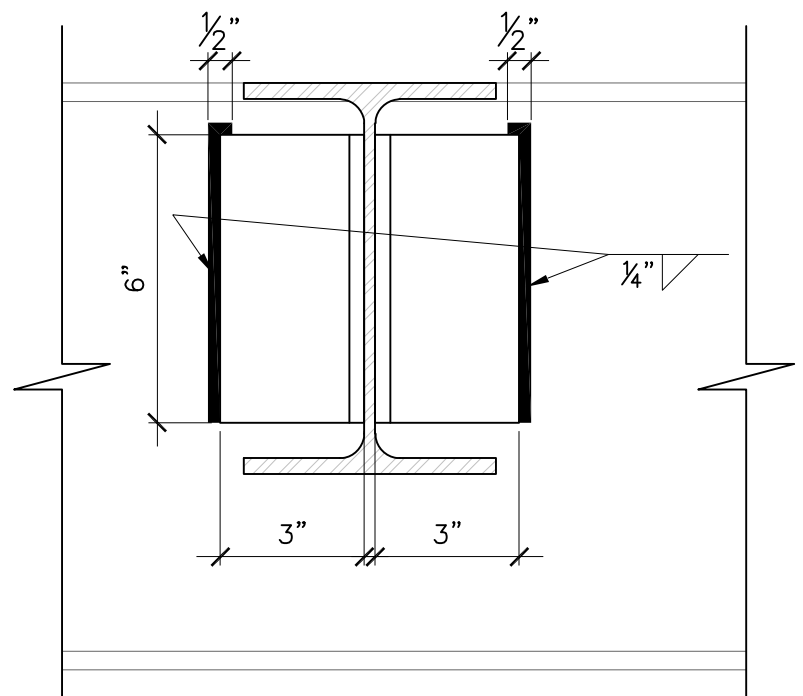
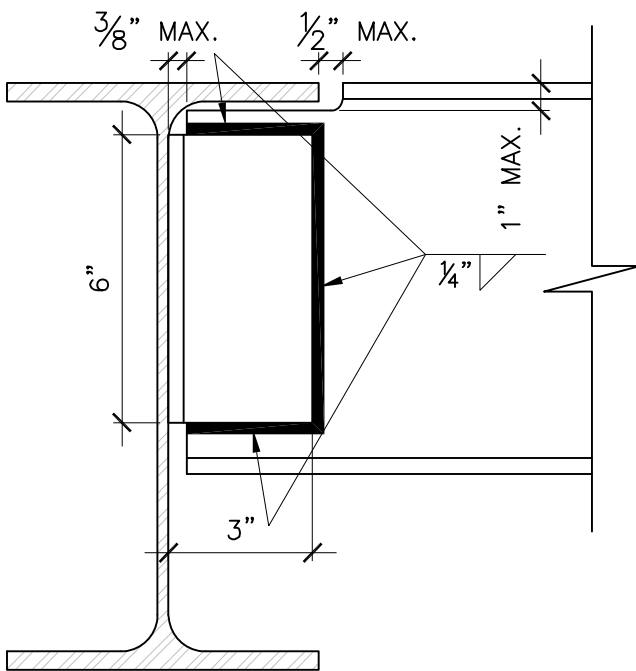
NOTES:

1. SEALED FOR STRUCTURAL INFORMATION ONLY. SEE STRUCTURAL SPECIFICATIONS ON SHEET SS1 PROVIDED.
2. FEATURES OF CONSTRUCTION OMITTED FOR CLARITY. SEE ARCHITECTURAL PLANS FOR WALL TYPE, ETC.
3. STRUCTURAL THROUGH BOLTS SHALL BE A325 c/w WASHERS & NUTS.
4. CONNECT WOOD NAILER PLATES TO STEEL FLANGES WITH $\frac{3}{8}$ " Ø THROUGH BOLTS c/w NUTS & WASHERS OR HILTI X-U FASTENERS @ 24" o/c STAGGERED EA. SIDE OF THE WEB.
5. FULL LENGTH OF BEAM MUST BE PACKED OUT IF SUPPORTING LOADBEARING JOISTS, RAFTERS, OR TRUSSES.
6. INSTALL ALL PRE-ENGINEERED PRODUCTS AS PER MANUFACTURER'S INSTRUCTIONS.
7. SEE ENG. LETTER/PLANS IF ADDITIONAL POST HOLD-DOWN IS REQUIRED.

POST SIZE	# of STRAPS PER POST
2-2x6	1 (2 TOTAL)
3-2x6	2 (4 TOTAL)
4-2x6	2 (4 TOTAL)
5-2x6	3 (6 TOTAL)



OPTION A - EQUAL NOMINAL DEPTH BEAMS



OPTION B - SUPPORTING BEAM DEEPER THAN SUPPORTED BEAM

NOTES:

1. SEALED FOR STRUCTURAL INFORMATION ONLY. SEE SPECIFICATION SHEET SS1 ATTACHED.
2. PROVIDE (2)L3x3x5/16 WELDED TO BOTH FACES AS INDICATED.
3. BEAMS SHALL HAVE A MINIMUM YIELD STRENGTH OF 345MPa.
4. ANGLES SHALL HAVE A MINIMUM YIELD STRENGTH OF 300MPa.
5. CONNECTION RATED FOR A MAXIMUM FACTORED REACTION OF 170kN (38,200lbs).
6. BEAMS SHALL BE DESIGNED TO SUPPORT LOADS.
7. MINIMUM WEB THICKNESS OF SUPPORTING BEAM = 7/32" (5.8mm).
8. ALL WELDING SHALL BE DONE BY A CWB CERTIFIED WELDER.
9. USE E49XX ELECTRODES.
10. SUPPORTED MEMBER SHALL BE 8"-12" NOMINAL DEPTH.





**STRIK
BALDINELLI
MONIZ**

CIVIL • STRUCTURAL • MECHANICAL • ELECTRICAL

HIRA HOMES

0 WELLINGTON ROAD 34, PUSLINCH, ON

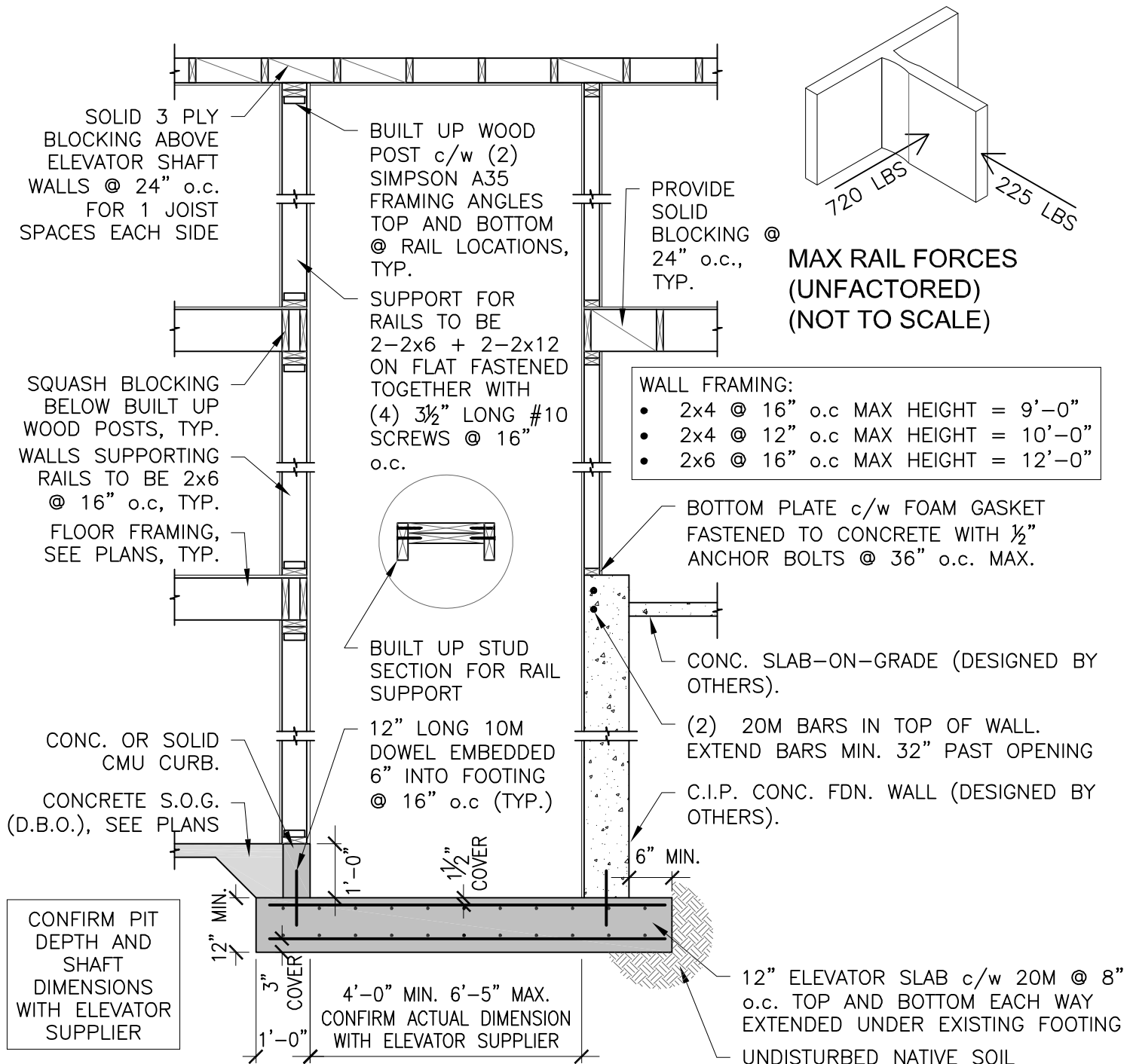
RESIDENTIAL ELEVATOR SLAB

FILE NO.: SBMW-19-268

DATE: NOV. 29, 2019

SHEET NO.: SK-4

DRAWN BY.: EL



RESIDENTIAL ELEVATOR DETAIL

SCALE: 3/8"=1'-0"

NOTES:

1. SEALED FOR STRUCTURAL INFORMATION ONLY, REFER TO STRUCTURAL SPECIFICATIONS ON SHEET SS1 ATTACHED.
2. AN ALLOWABLE SOIL BEARING CAPACITY OF 2000 PSF WAS ASSUMED.
3. ELEVATOR MAX. LOAD = 9600 LBS (INCLUDING IMPACT FORCES).
4. ALL LOADS SHOWN ARE UNFACTORED. BUILDING DESIGNER TO CONFIRM ELEVATOR REACTIONS. DO NOT EXCEED FORCES SHOWN, CONTACT SBM IF REACTIONS ARE LARGER THAN SHOWN.





**STRIK
BALDINELLI
MONIZ**

CIVIL • STRUCTURAL • MECHANICAL • ELECTRICAL

HIRA HOMES

0 WELLINGTON ROAD 34, PUSLINCH, ON

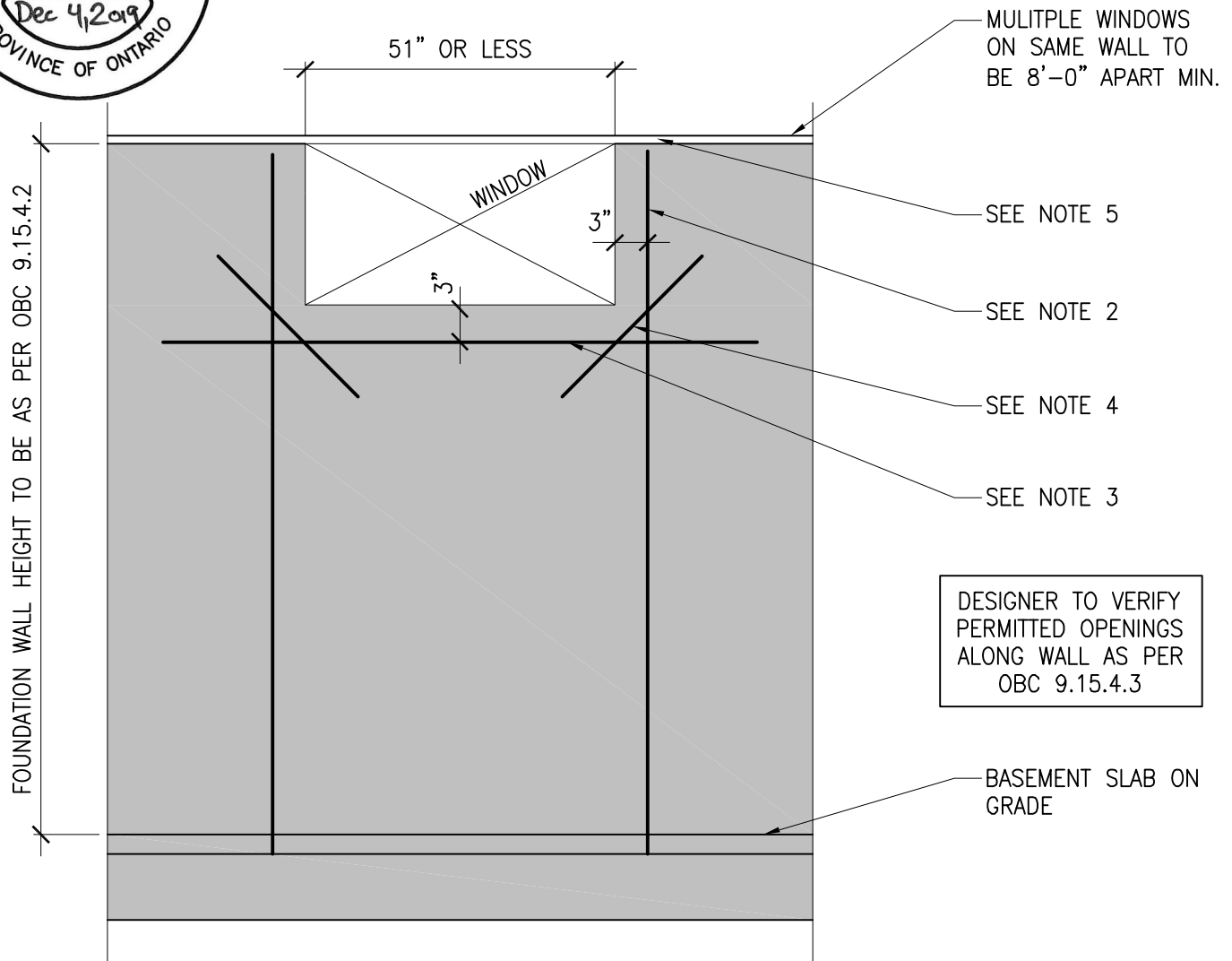
FOUNDATION WINDOW REINFORCING DETAIL

FILE NO.: SBMW-19-268

DATE: NOV. 29, 2019

SHEET NO.: SK-5

DRAWN BY.: EL



BASEMENT WINDOW REINFORCEMENT DETAIL

N.T.S.

NOTES:

1. SEALED FOR STRUCTURAL INFORMATION ONLY. SEE STRUCTURAL SPECIFICATIONS ON SHEET SS1 PROVIDED.
2. PROVIDE (2) 15M VERTICAL BARS EACH SIDE OF WINDOW OPENING.
3. PROVIDE (2) 15M HORIZONTAL BARS BELOW WINDOW OPENING, EXTENDED 12" PAST WINDOW OPENING.
4. PROVIDE (2) 18" LONG 10M DIAGONAL BARS AT BOTTOM CORNERS OF WINDOW OPENING.
5. INSTALL 1/2" DIAMETER ANCHOR BOLTS WITHIN 6" OF WINDOW OPENING AND @ 48" o.c. FOR 8'-0" EACH SIDE OF WINDOW OPENING.
6. FOUNDATION WALL TO BE Laterally SUPPORTED AT TOP AND BOTTOM AS PER OBC 9.15.
7. WALLS SUPPORTING DRAINED EARTH HAVE BEEN DESIGNED IN ACCORDANCE WITH 2012 OBC 9.4.4.6.(1)(a).



**STRIK
BALDINELLI
MONIZ**
CIVIL • STRUCTURAL • MECHANICAL • ELECTRICAL

HIRA HOMES

0 WELLINGTON ROAD 34, PUSLINCH, ON

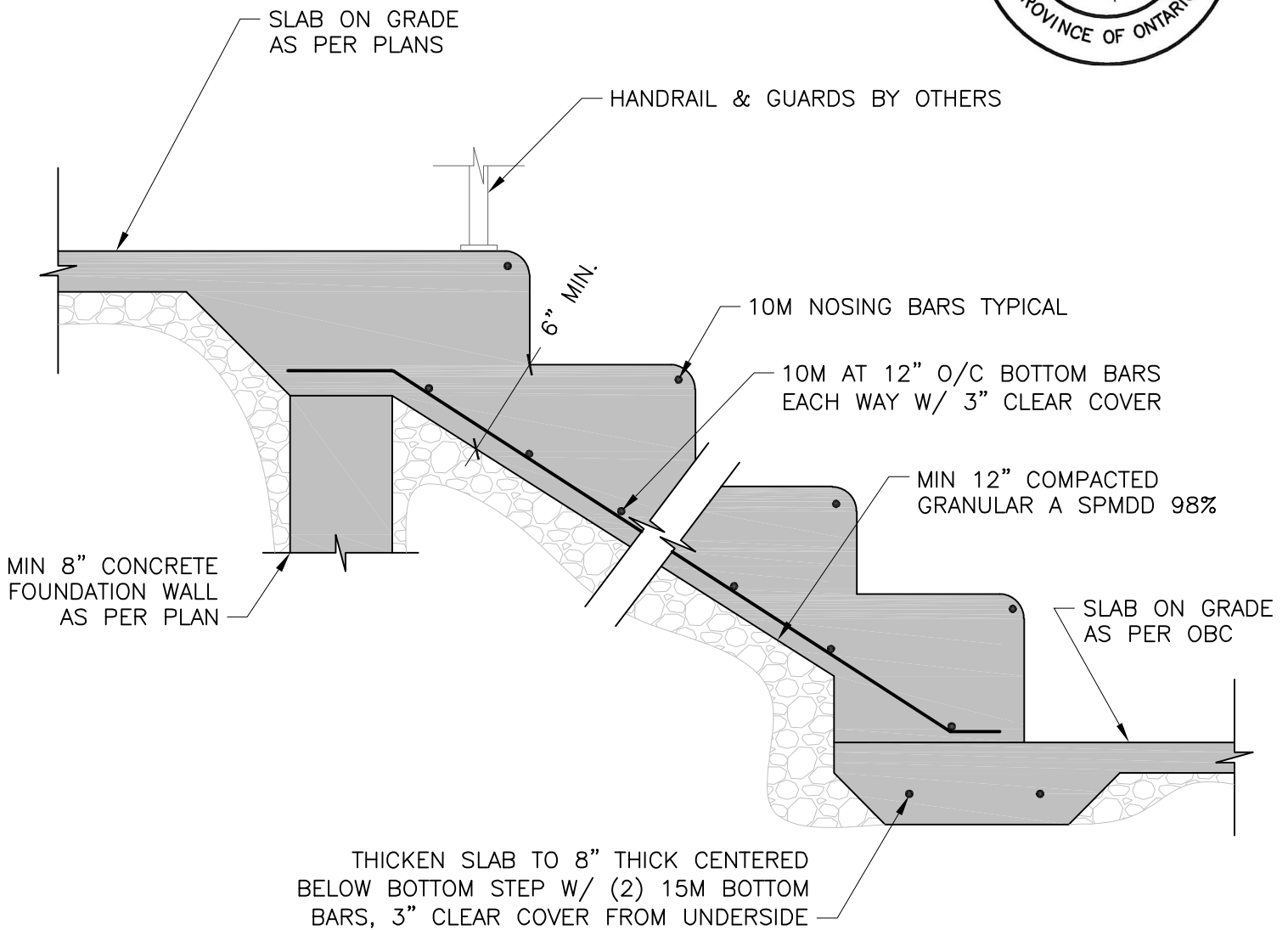
CONCRETE STAIR REINFORCING

FILE NO.: SBMW-19-268

DATE: NOV. 29, 2019

SHEET NO.: SK-6

DRAWN BY: EL



GARAGE CONCRETE STAIR REINFORCING

SCALE: $\frac{3}{4}"=1'-0"$

NOTES:

1. SEALED FOR STRUCTURAL INFORMATION ONLY. SEE SPECIFICATION SHEET SS1 PROVIDED.
2. EXPOSED CONCRETE TO HAVE THE FOLLOWING PROPERTIES: 32MPa W/ 5-8% AIR ENTRAINMENT.
3. REINFORCING STEEL TO HAVE $F_y=400\text{MPa}$.
4. STAIRS TO HAVE UNIFORM RISE & RUN AS PER OBC (SEE ARCH FOR INFO). VERIFY NUMBER OF RISERS WITH FINAL GRADING PLAN.



**STRIK
BALDINELLI
MONIZ**
CIVIL • STRUCTURAL • MECHANICAL • ELECTRICAL

HIRA HOMES

0 WELLINGTON ROAD 34, PUSLINCH, ON

SUSPENDED CONCRETE SLAB DETAIL

FILE NO.: SBMW-19-268

DATE: NOV. 29, 2019

SHEET NO.: SK-7

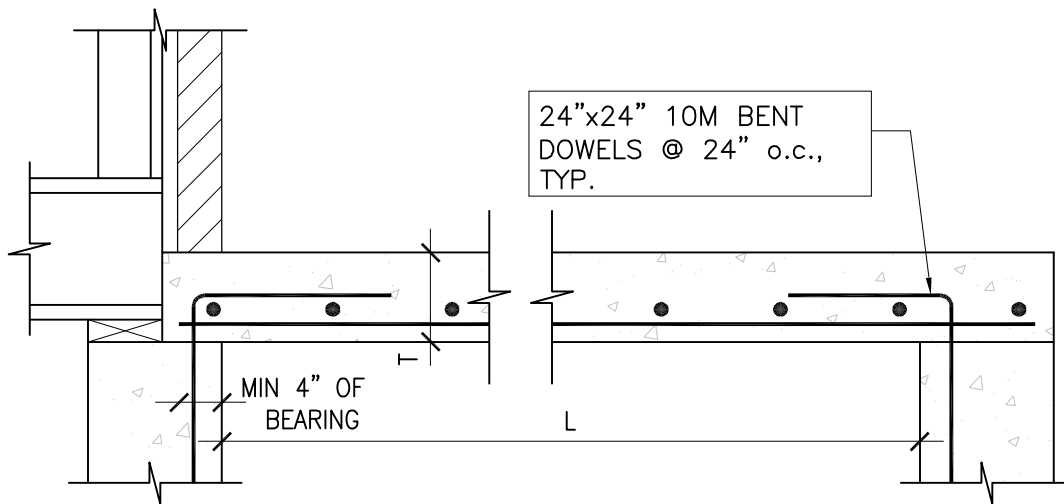
DRAWN BY.: EL

SUSPENDED CONCRETE SLABS (RESIDENTIAL ONLY)

LIVE LOAD: 40 psf
DEAD LOAD: VARIES WITH THICKNESS OF SLAB

SPAN OF CONCRETE DECK IN SHORTER DIRECTION

<i>SLAB LENGTH (L)</i>	8'-3" TO 9'-11"	10'-0" TO 11'-11"	12'-0" TO 15'-0"
<i>SLAB THICKNESS (T)</i>	6" THICK	8" THICK	10" THICK
<i>REINFORCING</i>	10M @ 8" o.c. BOTTOM EACH WAY	15M @ 12" O.C. BOTTOM EACH WAY	15M @ 12" O.C. BOTTOM EACH WAY



NOTES:

1. SEALED FOR STRUCTURAL INFORMATION ONLY. SEE STRUCTURAL SPECIFICATIONS ON SHEET SS1 PROVIDED.
2. EXPOSED CONCRETE TO HAVE THE FOLLOWING PROPERTIES: 32Mpa w 5-8% AIR ENTRAINMENT.
3. SUSPENDED SLABS TO BE SHORED A MINIMUM 14 DAYS UNTIL CONCRETE HAS CURED (SHORING BY CONTRACTOR).
4. SLABS TO BE SUPPORTED ON EACH SIDE, TYPICAL. SLABS DESIGNED AS ONE WAY SIMPLY SUPPORTED.
5. BOTTOM BARS TO BE PARALLEL TO SHORT DIRECTION. INSTALL BOTTOM BARS 1¼" CLEAR FROM U/S OF FORM.
6. BARS TO BE TIED AT ALL LOCATIONS. ALL REINFORCING STEEL TO BE 400Mpa OR BETTER.
7. CONCRETE SLABS 8'-2" OR LESS TO BE CONSTRUCTED IN CONFORMANCE WITH PART 9.39 OF THE ONTARIO BUILDING CODE, 2012 EDITION.
8. CONCRETE SLABS DESIGNED USING CAN/CSA A23.3-04 DESIGN OF CONCRETE STRUCTURES.



STRIK
BALDINELLI
MONIZ

CIVIL • STRUCTURAL • MECHANICAL • ELECTRICAL

HIRA HOMES

0 WELLINGTON ROAD 34, PUSLINCH, ON

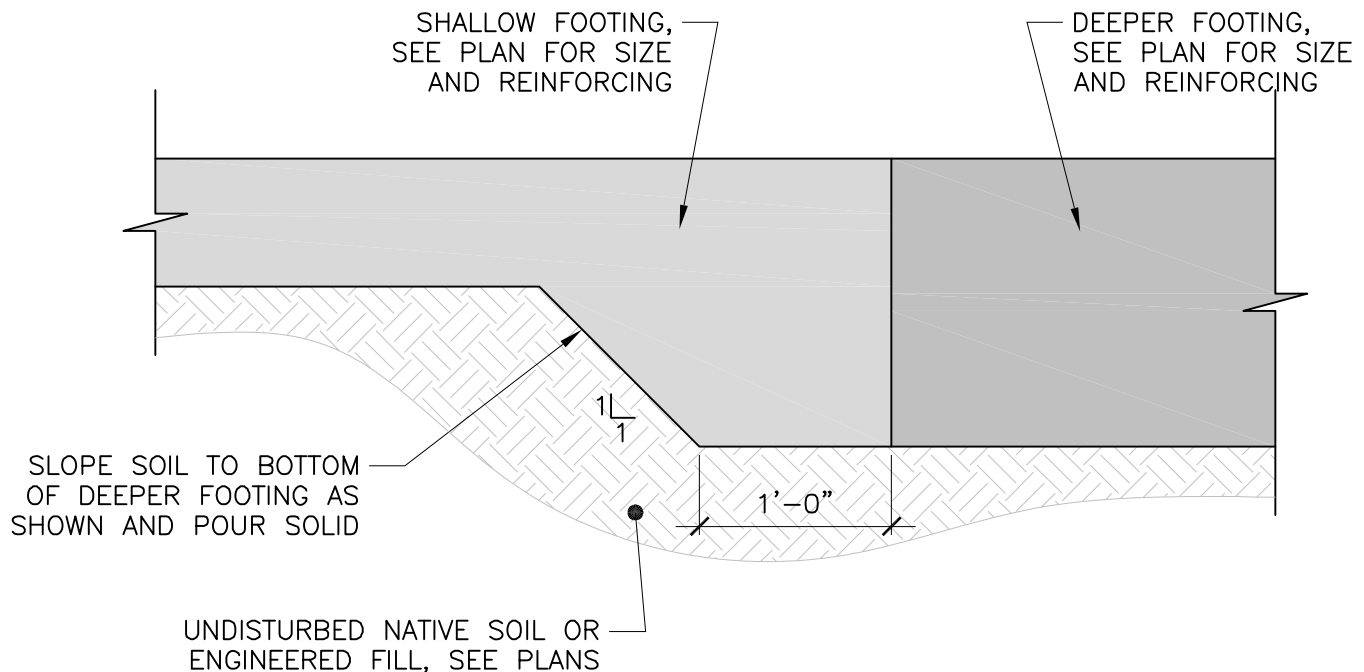
CHANGE IN FOOTING THICKNESS

FILE NO.: SBMW-19-268

DATE: DEC. 2, 2019

SHEET NO.: SK-8

DRAWN BY: EL



TYPICAL FOOTING TRANSITION

SCALE: 1"=1'-0"

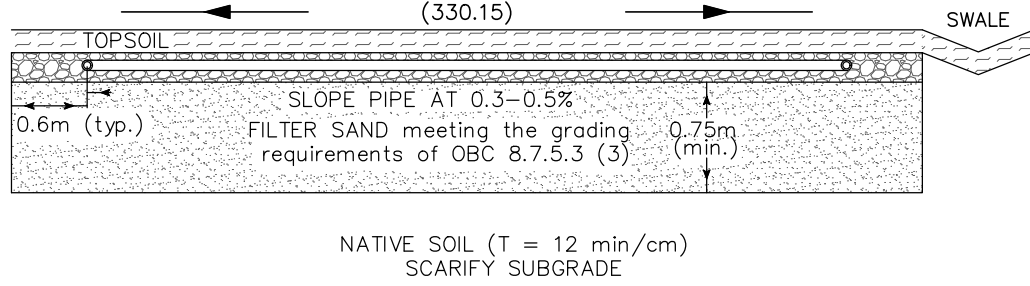
NOTES:

1. SEALED FOR STRUCTURAL INFORMATION ONLY, SEE STRUCTURAL SPECIFICATION SHEET SS1 PROVIDED.
2. BEARING ELEVATIONS SHOWN ON FOUNDATION PLAN SET FOR TOP OF SHALLOW FOOTING TO BE FLUSH WITH TOP OF DEEP FOOTING, REPORT ANY DISCREPANCIES ON FOUNDATION PLAN TO STRUCTURAL CONSULTANT.
3. ALL EXTERIOR FOOTINGS AND FOOTINGS IN UNHEATED STRUCTURES TO BE SET MINIMUM 4'-0" BELOW GRADE.

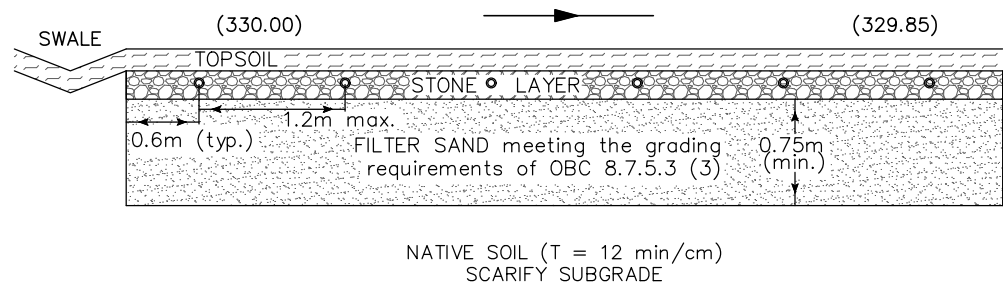


WELLINGTON COUNTY ROAD No. 34
ROAD ALLOWANCE BETWEEN CONCESSIONS 2 & 3
PIN 71209-0002 (LT)

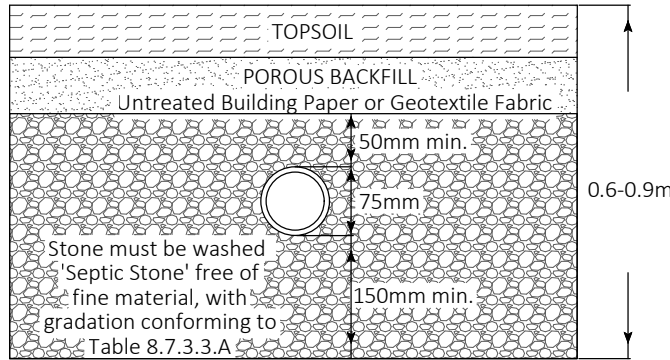
CROSS-SECTION A-A'
(N.T.S)



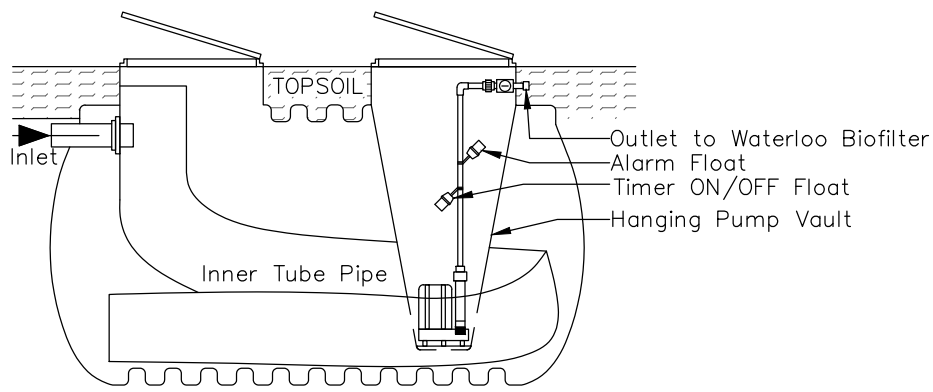
CROSS-SECTION B-B'
(N.T.S)



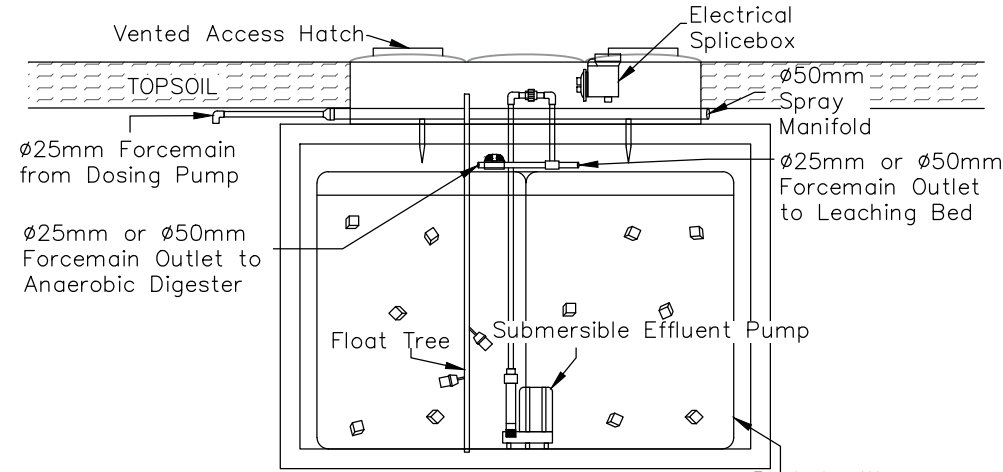
DISTRIBUTION LAYER DETAIL
(N.T.S)



ANAEROBIC DIGESTER DETAIL
(N.T.S)



BASKETS IN CONCRETE TANK DETAIL
(N.T.S)



SEWAGE SYSTEM DESIGN NOTES:

(Refer to Van Harten Surveying Inc. design report for material, construction, inspection and other details)

Q = 6,150 L/Day
T = 12 min/cm
Waterloo Biofilter Model No. AD-BA65
Anaerobic Digester Size = 12,272 L
Hanging Pump Vault = 3,250 L MIN. Capacity
Filter Bed Area = 2 @ (7.0 m by 7.2 m) = 100 m²
Distribution Pipe Length = 2 @ (6 runs of 6.0 m) = 72.0 m

PROPOSED DWELLING:

TOP OF FOUNDATION = (330.76)
UNDERSIDE OF FOOTING = (327.48)
BASEMENT FLOOR = (327.71)
FINISHED FLOOR = (331.10)
GARAGE SLAB = (330.50)
GARAGE CUT = (0.26)

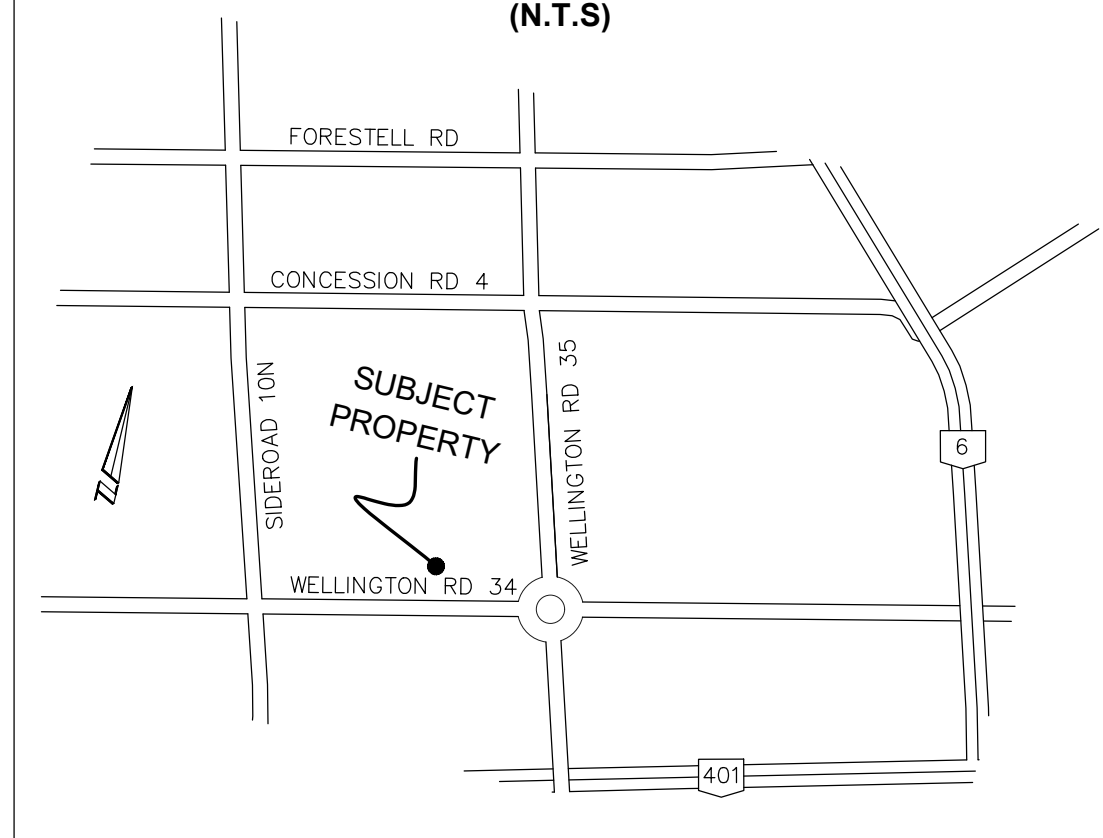
NOTE:

ELEVATIONS BASED ON A 10'-3" (3.12m)
FOUNDATION WALL HEIGHT.

CALL BEFORE YOU DIG

THE LOCATION OF SERVICES ON THIS DRAWING ARE ONLY APPROXIMATE AND BASED ON SURFACE FEATURES LOCATED AT THE TIME OF THE TOPOGRAPHIC SURVEY. PRIOR TO ANY CONSTRUCTION IT IS THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER TO ENSURE THE EXACT LOCATION OF ALL UTILITIES.

KEY MAP
(N.T.S)



LEGEND:

- (395.70) - PROPOSED ELEVATION
- 394.82 - EXISTING ELEVATION
- SLOPE
- DIRECTION OF FLOW
- PERFORATED PIPE
- TP1 - TEST PIT
- WELL
- FILTER BED AREA
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- TREE
- TREE TO BE REMOVED

SURVEY INFORMATION:

BENCHMARK REFERENCE:

ELEVATIONS ARE BASED ON GPS OBSERVATIONS FROM PERMANENT REFERENCE STATIONS IN THE NAD83 (CSRS-2010) COORDINATE SYSTEM, WITH HEIGHTS CONVERTED TO ORTHOMETRIC ELEVATIONS ON THE CVGD28 DATUM (1978 ADJUSTMENT) WITH GEOID MODEL HTV2.0, AS SUPPLIED BY NATURAL RESOURCES CANADA.

SITE BENCHMARK:

- NAIL IN FENCE POST ALONG EASTERN PROPERTY LIMIT HAVING AN ELEVATION OF 332.19m.

ZONING: (A) AGRICULTURAL

MINIMUM LOT AREA = 0.4 ha
MINIMUM FRONT YARD = 7.5m
MINIMUM LOT WIDTH = 24.3 m
MINIMUM SIDE YARD = 3.0 m
MINIMUM REAR YARD = 7.6 m

* PROPERTY REGULATED BY THE GRAND RIVER CONSERVATION AUTHORITY *

**LOT DEVELOPMENT PLAN
AND SEWAGE SYSTEM DESIGN FOR:**

**PROPOSED DWELLING
PART 1, DEPOSITED PLAN 61R-21417
BEING PART OF LOT 14, CONCESSION 3
TOWNSHIP OF PUSLINCH
COUNTY OF WELLINGTON**

NO.	REVISION	BY	DATE
1	UPDATE ZONING/HOUSE LOCATION	JMD	JUNE 29-20
DRAWING REVISION SCHEDULE			
PREPARED FOR: HIRA CUSTOM HOMES			
PROJECT No. 27102-19			
DRAWING SCALE 1 : 250			

CAUTION:
- THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED FOR TRANSACTION OR MORTGAGE PURPOSES.
- IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE THE PROPOSED FOOTING ELEVATION AND PLUMBING ALLOWS GRAVITY CONNECTION TO THE SEWAGE SYSTEM.
- SOIL BEARING CAPACITY SHOULD BE VERIFIED AT THE TIME OF CONSTRUCTION.
- THE BUILDER MUST ENSURE A MINIMUM OF 1.22m OF EARTH COVER OVER THE FOOTINGS FOR FROST PROTECTION.
- THIS SKETCH IS PROTECTED BY COPYRIGHT

Van Harten
SURVEYING INC.
LAND SURVEYORS and ENGINEERS

Kitchener Ph: 519-742-8371
Guelph Ph: 519-821-2763
Orangeville Ph: 519-940-4110

www.vanharten.com info@vanharten.com

DRAWN BY: JIM CHECKED BY: JMD PROJECT No. 27102-19

Jun 29, 2020-10:36:23 AM
G:\PUSLINCH\Con3\ACAD\SITE SEPTIC PTLOT 14 (HIRA) UTM-2010NR (REV1).dwg

J. M. DUFFY
PROFESSIONAL ENGINEER
ON 29 JUN 2020



26 August 2020

PLN: 20-062
File Code : R14

Lynne Banks
Development and Legislative Coordinator
Township of Puslinch
7404 Wellington Road 34
Puslinch, ON N0B 2J0

Dear Ms. Banks;

Re: D13/SIN
Part of Lot 14, Concession 3, Wellington Road 34, Puslinch

Planning staff at the Upper Grand District School Board has received and reviewed the above noted application for a proposed minor variance.

The effect of the application is to provide relief from Comprehensive Zoning By-law 23-2018 to permit a maximum height of a single family dwelling to be 12.5 metres to the peak of the roof instead of 10 metres, as required.

Please be advised that the Planning Department **does not object** to the proposed application, subject to the following condition:

- That Education Development Charges shall be collected prior to the issuance of a building permit(s).

Sincerely,

Upper Grand District School Board



Heather Imm, RPP
Senior Planner
heather.imm@ugdsb.on.ca

Planning Justification Report

Committee of Adjustment Minor Variance

Kuldeep Singh, Harmonjot Grewal, Navkiranpreet Kaur

0 Wellington Road #34, Puslinch Ontario

Attention: Committee of Adjustment

Date: August 26, 2020

INTRODUCTION

Empire Design Company has been retained by the owner's of 0 Wellington Rd. #34 to provide a planning justification report for a proposed two-storey single family dwelling on a parcel of land currently vacant.

Our proposal is for an increase in height from 10.0M to 12.5M. Due to the restrictions of the amended zoning bylaw, we have found ourselves in a predicament between the old bylaw restriction and the new. At this point of having completed drawings and having a rising grade differential at the rear, it would be very difficult to achieve a typical home design otherwise. The majority of homes with the Town of Puslinch have mostly been designed with a height of 12.0M for a typical two storey home and we have also designed our home within the same limitation.

Based on our understanding of the preliminary zoning feedback provided to us, we feel that we meet all other requirements of the zoning bylaws other than the height.

Our intent is to maintain the characteristics of the neighborhood and surrounding area for the developing Town of Puslinch; for style, massing, coverage and height within the limitations of the lot size and zoning restrictions.

Based on the four tests of the Planning Act, testing for a minor variance, we have evaluated the requested variances against these tests, as follows:

1. Is the variance minor in nature?

The proposed variance will not adversely increase the floor area, coverage or massing of the property where it is considered as 'over-development' within the zoning requirements. The height proposed would have been typically 0.5M above the allowable restrictions of the previous bylaw.

Given the restrictions of the revised zoning bylaw, we must adhere to the current requirement. The building footprint and coverage still remain the same, therefore, there is no visible increase in massing in comparison to any of the neighboring homes with the vicinity.

Therefore, based on these facts, we feel this variance may be considered minor in nature.

2. Does the variance maintain the intent and purpose of the Official Plan?

Our proposal will be compatible with the surrounding neighborhood. When reviewing the existing homes within the surrounding neighborhood, this property in scale, height, massing and architectural character and materials will resemble the majority of homes previously approved within the neighborhood. Based on the size of this lot, we feel that our proposal does not impact the streetscape but blends into the character of the street.

We are in the opinion that this variance meets the intent and purpose of the Official Plan.

3. Does the variance meet the intent and purpose of the Zoning Bylaw?

Having noted the requirements of the zoning bylaw, the additional increase in height to our proposal does not visually impact the scale and massing of the proposed home.

Therefore, we feel this does not indicate over-development on the property and is still maintaining the general intent and purpose of the Zoning Bylaw.

4. Is the variance desirable for the appropriate development of the lands?

Our proposal will have similarities to the scale and massing of most of the existing properties within the surrounding neighborhood. The styling of our proposal will have similar features to previously constructed homes within the Town of Puslinch.

Therefore, based on having similar aspects in comparison to the neighboring homes, we believe this variance is currently desirable for the appropriate development of the lands.

PROPERTY LOCATION

The subject lands are located in the North West quadrant of Highway #6 and Highway #401.

SURROUNDING LAND USES

All the lands within this property district are all low density single family residential homes and/or agricultural uses.

PROPOSAL

A new 2-storey single family dwelling with an attached garage.

TECHNICAL DATA

A formal review depicting the current zoning bylaw reference has not been provided.

CONCLUSIONS

The official plan allows these lands to remain as low density residential for stable residential communities. The proposal for this home is in keeping with the official plan with respect to the existing neighborhood and context.

PHOTOS

None attached.

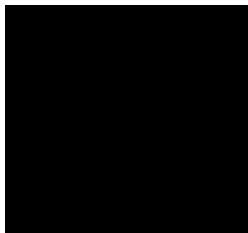
SUMMARY

We feel that all efforts have been taken into account to allow this home to blend into the community without adversely affecting the neighboring properties and also meeting the zoning bylaw restrictions as closely as possible from the previous bylaw restriction with respect to height. Given that the front yard setback is more than required along with increased side yard setbacks, the height would be less intrusive to the surrounding neighboring lands.

We are hoping the committee finds this application minor and favorable and grants permission for approval to proceed with this development.

Peter Vozikas
Empire Design Company
416-500-8989

(Agent for owner's)





PLANNING REPORT for the TOWNSHIP OF PUSLINCH

Prepared by the County of Wellington Planning and Development Department

DATE: September 8th, 2019
TO: Lynne Banks, Secretary-Treasurer
Township of Puslinch
FROM: Meagan Ferris, Senior Planner
County of Wellington
SUBJECT: **MINOR VARIANCE APPLICATION D13 SIN (Kuldeep Singh, Harmonjot Grewal & Navkiranpreet Kaur)**
0 Wellington Road #34
Part Lot 14, Concession 3

We have reviewed the application for minor variance and provide the following comments. These comments are offered without the benefit of a site visit.

Planning Opinion

The applicant is proposing to construct a single family dwelling on the subject lands that is taller than permitted within the Zoning By-law. The proposed dwelling height is 12.5 metres (41 feet) where the Zoning By-law permits a maximum height of 10 metres (32.8 feet). The variance requested would provide relief from Section 4.10 to allow an increase in the building height of a dwelling by 2.5 metres (8.2 feet).

Based on the site location, which is a residential lot within an agricultural area, the intent to situate the dwelling substantially far from the road, and existing vegetative buffering on site, there are no concerns or objections with this proposal. Planning staff is satisfied that the subject application is minor in nature, maintains the intent and purpose of the County Official Plan and the Township's Zoning By-law, and represents desirable and appropriate development.

Proposal:

The details of the minor variance application are included in the table below.

Section of By-law	Required	Proposed
Section 4.10 Height Restrictions	The maximum height of any building or structure shall not exceed 10 metres in height.	Requesting relief to permit a new dwelling with a maximum height of 12.5 m to the peak of the roof.

Our discussion of this application relative to the four tests under the *Planning Act* is as follows:

Four Tests	Discussion
That the requested variance is minor in nature	<ul style="list-style-type: none">The height relief requested is to allow for the construction of a dwelling with a modern architectural design.Staff considers the variance minor in terms of impact due to the context of the area and the existence of natural and spatial buffers.The dwelling is proposed to be setback substantially from the road (i.e. approximately 74.8 metres (150 feet)).
That the intent and purpose of the Zoning By-law is maintained	<ul style="list-style-type: none">The subject lands are zoned as Agricultural (A) Zone.A single family dwelling is a permitted use within the Agricultural (A). Zone.The intent of the subject application is to construct a dwelling that is taller than the maximum height of 10 metres.

That the general intent and purpose of the Official Plan is maintained	<ul style="list-style-type: none"> • The subject lands are designated as Secondary Agricultural in the County Official Plan. • Single detached homes are permitted within the Secondary Agricultural area. • Based on aerial mapping, there are several trees located on-site; however, these trees are not identified as being part of the County's Greenland System. • It is noted that the subject lands were previously severed through application B179/17 as a rural residential lot. Any requirements for access would have been addressed at the consent stage.
Four Tests	Discussion
That the variance is desirable and appropriate for the development and use of the land, building or structure	<ul style="list-style-type: none"> • The subject lands are approximately 0.4 hectares (0.98 acres) in size and the immediate, adjacent land uses are a mixture of rural residential and agricultural uses. • It is understood the dwelling is proposed to be setback substantially from the road and front lot line. • Based on aerial maps, there are existing natural features on the subject lands and the abutting property which help to provide a vegetative buffer between uses and provide a visual buffer from the road. • The variance is considered to be appropriate within the context of this area.



In conclusion, planning staff is of the opinion that the requested variance application **meets the four tests** of the *Planning Act*. I trust that these comments will be of assistance to the Committee in their consideration of this matter. We would appreciate a copy of the Committee's decision with respect to this application.

Respectfully submitted
County of Wellington Planning and Development Department

Meagan Ferris, RPP MCIP
Senior Planner



Township of Puslinch
7404 Wellington Road 34
Puslinch, ON, N0B 2J0
T: (519) 763 – 1226
F: (519) 763 – 5846
www.puslinch.ca

Minor Variance or Permission Application

General Information:

1. Applicant Information:

Registered Owner's Name(s): Joseph Addeo

Address: 4331 Watson Road South

City: Puslinch

Postal Code: N0B 2J0

E-mail Address: [REDACTED]

Telephone Number: [REDACTED]

Fax:

Applicant (Agent) Name(s): Black, Shoemaker, Robinson & Donaldson Limited

Address: 257 Woodlawn Road, Unit 101

City: Guelph

Postal Code: N1H 8J1

E-mail Address: nancy@bsrd.com

Telephone Number: 519-822-4031

Fax:

Name, address, and phone number of all persons having any mortgages, charges, or encumbrances on the property.

National Bank of Canada
500 place d'armes, 5th floor
Montreal, Quebec
H2Y 2W3

Send correspondence to: Owner: ☒ Agent ☒ Other: _____

2. Provide a description of the "entire" property:

Municipal address: 4331 Watson Road South

Concession: 10 Lot: Part of Lot 27

Registered Plan Number: _____

Area: 1.95 ha Depth: 192.5 m Frontage: 111.21 m
4.8 ac 631.5 ft 364.8 ft

Width of road allowance (if known): 20 m

Reason for Application:

3. Please indicate the Section of the Planning Act under which this application is being made. Select one:

☒ Section 45(1) relates to a change to a by-law standard (e.g. setbacks, frontage, height, etc.); or

☒ Section 45(2) relates to a change to or expansion of an existing legal non-conforming use.

4. What is the nature and extent of the relief that is being applied for? (please specifically indicate on sketch).

Seeking relief from Section 4.4.2 a) that states - No accessory building or structure shall be erected on a lot prior to the erection of the principal building.

Seeking relief from Section 3 that states Accessory building or structure is naturally and normally incidental to, subordinate to, or exclusively devoted to a principal use or building on the same lot.

**5. Why is it not possible to comply with the provisions of the by-law?
(please specifically indicate on sketch).**

The accessory building is existing so the current development of the property will not comply with the by-law until a residential dwelling is erected on the property.

Until the new house is constructed, the use of the accessory building will not comply with the definition as the principal use of the site currently would be deemed to be agricultural, whereas the accessory building is used for the storage of food equipment.

6. What is the current Official Plan and zoning status?

Official Plan Designation: Secondary Agricultural

Zoning Designation: Agricultural (A)

7. What is the access to the subject property?

Provincial Highway:

☐

Continually maintained municipal road:

☒

Seasonally maintained municipal road:

☐

Other: ☐ (please specify below)

8. What is the name of the road or street that provides access to the subject property?

Watson Road South

9. If access is by water only, please describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land to the nearest public road.

N/A

Existing and Proposed Service:

10. Indicate the applicable water supply and sewage disposal:

Water Supply/Sewage Disposal:	Existing:	Proposed:
Municipal Water:	<input type="checkbox"/>	<input type="checkbox"/>
Communal Water:	<input type="checkbox"/>	<input type="checkbox"/>
Private Well:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Other Water Supply:	<input type="checkbox"/>	<input type="checkbox"/>
Municipal Sewers:	<input type="checkbox"/>	<input type="checkbox"/>
Communal Sewers:	<input type="checkbox"/>	<input type="checkbox"/>
Private Septic:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Other Sewage Disposal:	<input type="checkbox"/>	<input type="checkbox"/>

11. How is storm drainage provided?

Storm Sewers: ☐

Ditches: ☒

Swales: ☐

Other means: ☐ (explain below)

Existing Subject and Abutting Property Land Uses, Buildings and their Locations:

12. What is the existing use of:

The subject property? Part of rural residential property

The abutting properties? Rural residential to north, rural residential & farmland to south and west, and farmland to east.

13. Provide the following details for all buildings on or proposed for the subject land: (please use a separate page if necessary)

Type of Building(s)/ structures	existing storage building		Addition to storage building & residential dwelling	
Main Building height	6.7 m	22 ft.	5.5 - 6.7 m	18-22 ft.
*Percentage lot coverage	1.5% 280 m ²	3,014 ft.	6.2% 1,207 m ²	13,000 ft.
*Number of parking spaces	2		2	
*Number of loading spaces	2		2	
Number of floors	1		1	
Total floor area	280 m ²	3,014 ft ²	1,207 m ²	13,000 ft ²
Ground floor area (exclude basement)	280 m ²	3,015 ft ²	1,207 m ²	13,000 ft ²

14. What is the location of all buildings existing and proposed for the subject property? (specify distances from front, rear and side lot lines)

	Existing		Proposed addition to storage building, including single family dwelling and additional storage area	
Front Yard	97 m	318 ft.	97 m	318 ft.
Rear Yard	118 m	387 ft.	64 m	210 ft.
Side Yards	L 52 m	170.6 ft	L 52 m	170.6 ft
	R 13.1 m	43 ft.	R 13.1 m	43 ft.

15. What are the dates of acquisition and construction of subject property and building property?

Date of acquisition of subject property: February 25, 1999: Joseph and SuzanneJane Addeo
May 11, 2016 to Joseph Addeo

Date of construction of buildings property: 1985 house 1996 storage building

16. How long have the existing uses continued on the subject property? 25-35 years

17. Has the owner previously applied for relief in respect of the subject property?

Yes ☐ No ☒

If the answer is yes, please indicate the file number and describe briefly:

--

Other Related Planning Applications:

18. Has an application for any of the following on the subject lands?


Planning Application:	Yes:	No:	File Number:	Approval Authority:	Subject Lands	Purpose:	Status:
Official Plan Amendment	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Zoning By-Law Amendment	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Plan of Subdivision	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Consent (Severance)	x		B24-20	Wellington County	x	Sever existing house-	on circulation
Site Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Minor Variance	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Current application	Township of Puslinch	x	Relief from Min.Lot Frontage	

Authorization for Agent/Solicitor to act for Owner:

(If affidavit is signed by an Agent/Solicitor on Owner's behalf, the Owner's written authorization below shall be completed)

I (we) Joseph Addeo of the
Township _____ of Puslinch County/Region of
Wellington do hereby authorize


Black, Shoemaker, Robinson & Donaldson to act as my agent in this application.


Signature of Owner(s)

2020/07/29
Date

Affidavit:

I (we) Nancy Shoemaker of the
City _____ of Guelph County/Region of
Wellington solemnly declare that all the statements
contained in this application are true, and I, (we), make this solemn declaration
conscientiously believing it to be true, and knowing that it is of the same force and effect
as if made under oath and by virtue of the CANADA EVIDENCE ACT. DECLARED
before me at the City _____ of Guelph in the
County/Region of Wellington this 29th day of
July, 2020.


Signature of Owner or authorized
solicitor or agent

July 29, 2020
Date


Commissioner, etc.,
Black, Shoemaker,
Robinson & Donaldson Limited
Expires March 29, 2022

July 29/20
Date

Agreement to Post Sign and Permit Site Visits:

A form is included in the Zoning By-law Amendment application to agree to erect a sign on the subject lands and to permit Township employees/representatives to enter the lands for site visits.

The applicant is required to erect and maintain a sign on the proposed lands within one week of the application being deemed complete by staff and to remove the sign when the application has been given final approval. The sign shall be a minimum of 1.2 x 1.2 metres on posts 0.5 metres above grade and include the following wording to be approved by Township staff:

A PROPOSAL HAS BEEN MADE
ON THIS SITE FOR: (50 mm text height)
A ZONING BY-LAW AMENDMENT TO xxx (100 mm text height)
FOR FURTHER INFORMATION
PLEASE CONTACT THE TOWNSHIP OF PUSLINCH 7404 WELLINGTON ROAD 34
(519) 763 - 1226 (30-50 mm text height)

For Administrative Purposes Only:

Application fee of \$_____received by the municipality

Date Fee Received: _____

Date Application Filed: _____

File Number: _____

Application deemed complete: _____

Signature of Municipal Employee

Date

Personal information on this form is collected under the authority of the Planning Act. The information is used for the purpose of processing this application and administering the legislation and is maintained in accordance with the Municipal Freedom of Information and Protection of Privacy Act. Questions regarding the collection of this information may be directed to the Township Clerk's office.

The Township of Puslinch is committed to providing accessible formats and communication supports for people with a disability. If another format would work better for you, please contact the Township Clerk's office for assistance.



July 29, 2020

Project: 20-14-096

Ms. Lynne Banks
Development Coordinator
Township of Puslinch
7404 Wellington Road 34
Puslinch, Ontario
N0B 2J0

Dear Ms. Banks:

**Re: Applications for Minor Variance
4331 Watson Road South
Part of Lot 27, Concession 10
Consent Application B24-20
Owner: Joseph Addeo**

Please find enclosed an "Application for Minor Variance" for the above-noted property. Also enclosed is a cheque payable to the Township of Puslinch in the amount of \$1,221.00 to cover the Township's processing fees. Finally, I have included a sketch illustrating the original consent.

The consent application was reviewed and recommended by the Township's Planning and Development Advisory Committee on July 14th. It is anticipated that the Land Division Committee will review the application on September 10th. A recommended condition by the Township states that the owner is to apply for and receive a minor variance for the lands to be retained to permit an accessory structure to remain on the property until the residential dwelling is constructed.

At this time, the owner is applying for a minor variance to permit the accessory building until a residential dwelling is erected on the property. In addition, the owner is seeking a variance to definition of an accessory building use to allow the structure to continue to be used for the storage of food equipment. This use will comply with the definition of home industry once the new residential dwelling is constructed.

Should you require any additional information in support of this application, please call me.

Yours very truly

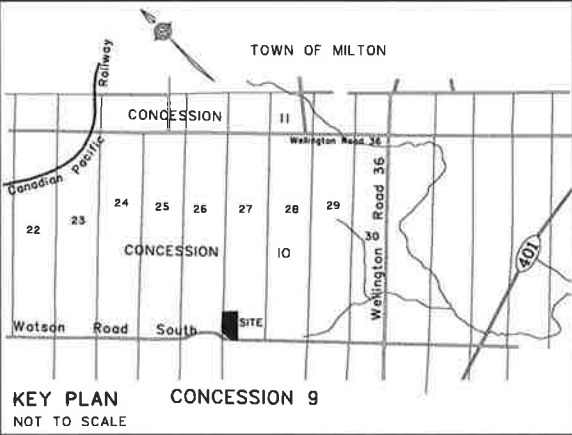
BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED

Nancy Shoemaker, B.A.A., M.C.I.P., R.P.P.

Attachments
Copy: Joseph Addeo

Surveying | Mapping | GIS
Unit 101- 257 Woodlawn Road West | Guelph | Ontario | N1H 8J1
T: [519] 822-4031 | F: [519] 822-1220
www.jdbarnes.com

Township of Puslinch



PLAN
PREPARED FOR CONSENT APPLICATION
TOWNSHIP OF PUSLINCH
COUNTY OF WELLINGTON

SCALE 1:1000

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

CAUTION: THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK.

NOTES:
1. BOUNDARY INFORMATION AND AREAS SHOWN ON THIS PLAN HAVE BEEN COMPILED FROM A COMBINATION OF REGISTRY OFFICE RECORDS AND OLD SURVEYS AND IS SUBJECT TO VERIFICATION BY A COMPLETE UP-TO-DATE FIELD SURVEY.

WELLINGTON COUNTY OFFICIAL PLAN DESIGNATION:

PARCEL TO BE RETAINED: GREENLANDS
PARCEL TO BE SEVERED: GREENLANDS

THIS PROPERTY IS SITUATED WITHIN THE PARIS GALT MORAINÉ POLICY AREA
THIS PROPERTY IS NOT SITUATED WITHIN A WELLHEAD PROTECTION AREA
THIS PROPERTY IS SITUATED WITHIN THE GRAND RIVER SOURCE PROTECTION PLAN

TOWNSHIP ZONING DESIGNATION:

PARCEL TO BE SEVERED: AGRICULTURAL (A)
PARCEL TO BE RETAINED: AGRICULTURAL (A) AND NATURAL ENVIRONMENT (NE)

LEGEND:

- 5674 DENOTES MUNICIPAL ADDRESS
- DENOTES WETLANDS (FROM GRCA MAPPING)
- DENOTES APPROXIMATE EDGE OF TREE CANOPY

THIS PLAN WAS PREPARED FOR
JOSEPH ADDEO
AND THE UNDERSIGNED ACCEPTS NO
RESPONSIBILITY FOR USE BY OTHER PARTIES.

LEO LIU
ONTARIO LAND SURVEYOR

© COPYRIGHT 2020: REPRODUCTION, DISTRIBUTION OR ALTERATION OF THIS PLAN, IN WHOLE OR IN PART, WITHOUT THE WRITTEN PERMISSION OF BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED IS STRICTLY PROHIBITED.

BLACK, SHOEMAKER, ROBINSON & DONALDSON
LIMITED

BSR&D Ontario Land Surveyors
Urban and Rural Planners
A wholly owned subsidiary of J.D. Barnes Ltd.

WWW.BSRD.COM

101-257 Woodlawn Rd. W. Guelph, Ontario N1H 8J1
FAX: (519) 822-1220
TEL: (519) 822-4031

DATE: FEBRUARY 18, 2020 KS PROJECT 20-14-096-00-8





UPPER GRAND DISTRICT SCHOOL BOARD

Planning Department

Board Office: 500 Victoria Road N. Guelph, ON N1E 6K2

Email: municipal.circulations@ugdsb.on.ca

Tel: 519-822-4420 ext. 821 or Toll Free: 1-800-321-4025

26 August 2020

PLN: 20-061
File Code : R14

Lynne Banks
Development and Legislative Coordinator
Township of Puslinch
7404 Wellington Road 34
Puslinch, ON N0B 2J0

Dear Ms. Banks;

**Re: D13/ADD
4331 Watson Road South, Puslinch**


Planning staff at the Upper Grand District School Board has received and reviewed the above noted application for a proposed minor variance.

The effect of the application is to provide relief from Comprehensive Zoning By-law 23-2018 to permit an accessory building to be permitted prior to the erection of the principal building on the lot and to permit the accessory structure to exist on the lot until the erection of the principal building on the lot.

It should be noted that if the accessory building proposed is for residential purposes than the following UGDSB condition would apply:

- Education Development Charges shall be collected prior to the issuance of a building permit(s).

Sincerely,
Upper Grand District School Board


Heather Imm, RPP
Senior Planner
heather.imm@ugdsb.on.ca

Upper Grand District School Board

• Martha MacNeil; Chair
• Mark Bailey

• Barbara Lustgarten Evoy; Vice-Chair
• Jen Edwards

• Jolly Bedi
• Mike Foley

• Linda Busuttil
• Robin Ross

• Gail Campbell
• Lynn Topping



PLANNING REPORT for the TOWNSHIP OF PUSLINCH

Prepared by the County of Wellington Planning and Development Department

DATE: September 8, 2020
TO: Lynne Banks, Secretary-Treasurer
Township of Puslinch
FROM: Zach Prince, Planner
County of Wellington
SUBJECT: **MINOR VARIANCE APPLICATION D13/ADD (Joseph Addeo)**
4331 Watson Road South
CON 10 FRONT PT LOT 27, RP; 61R4674 PART 1 AND RP; 61R9310 PART 2

We have reviewed the application for minor variance and provide the following comments. These comments are offered without the benefit of a site visit.

Planning Opinion

The variance requested would provide relief from Section 4.4.2 of the Zoning By-law requesting permission to allow an accessory structure to be retained until a new dwelling could be constructed. The existing garage is approximately 280m² (3,015ft²).

This application is related to consent application **B24/20**, which was previously deferred, and will be heard at the September 10th, 2020 Land Division Committee meeting. The related consent seeks to create a new 0.68ha (1.68ac) residential lot, containing a dwelling, and retain a parcel of land approximately 1.95ha (4.81ac) in size containing an accessory structure (garage). The minor variance application is a recommended condition of the above noted severance application; however, the variance is being considered prior to the consent application being considered.

Planning staff recommend that a condition be included requiring that the owner to post securities and enter into an agreement with the Township regarding the retention of the building.

Subject to the inclusion of the recommended condition Planning Staff have no concerns. This minor variance application maintains the general intent and purpose of the Official Plan and Zoning By-law, and is minor in nature and appropriate for the development of the subject property.

Relief Requested:

Regulation	By-law Section	Required	Proposed
General Provisions	4.4.2	The by-law requires the no accessory building or structure shall be erected on a lot proper to the erection of the principal building on the lot.	Requesting an existing accessory structure be permitted on the retained lands until a dwelling is constructed.

Our discussion of this application relative to the four tests under the Planning Act is as follows:

Four Tests	Discussion
That the requested variance is minor in nature	<ul style="list-style-type: none">• The minimum lot area is met for both the severed and retained parcel. The frontage on the severed parcel is met.• The existing garage meets the size, side yard, and rear yard setbacks of the By-law.• Once a new dwelling is built, the existing garage will be subordinate to the dwelling and once again be considered an 'accessory building'.
That the intent and purpose of the Zoning By-law is maintained	<ul style="list-style-type: none">• The subject lands are zoned Agricultural (A) and portion of the lands are identified as Environmental Protection Overlay (EP) zone.• A singled detached dwelling and accessory buildings are a permitted use within the Agricultural (A) zone.
That the general intent and purpose of the Official Plan is maintained	<ul style="list-style-type: none">• The subject property is designated Secondary Agricultural and Greenlands in the County Official Plan.• A single detached dwelling and accessory buildings are permitted within the Secondary Agriculture designation.
That the variance is desirable for the appropriate development and use of the land, building or structure	<ul style="list-style-type: none">• The accessory structure on the retained lands is meant to serve a new dwelling that will be constructed after the severance is completed.• County Staff are satisfied that the minor variance is desirable, and appropriate for the development and use of the land.

In conclusion, planning staff is of the opinion that the requested variance application **meets the four tests** of the *Planning Act*. I trust that these comments will be of assistance to the Committee in their consideration of this matter. We would appreciate a copy of the Committee's decision with respect to this application.

Respectfully submitted
County of Wellington Planning and Development Department



Zach Prince MCIP RPP
Planner

Puslinch 2020 Proposed Housekeeping Amendments

#	Zoning By-Law 23/18 Section	ZBA Section	Existing Provision/Section	Proposed Provision/Section	Explanation
1	Table of contents		Add 4.7 – Established Building Lines Add 4.8 – Garden Suite		Add to contents.
2	Section 1 Administration and Interpretation	1.1.3 b.	Notwithstanding anything to the contrary, including Subsection 1.1.3 a., By-law 023-2018 shall be deemed not to apply to the lands and By-law 19/85 and all amendments thereto shall continue in full force and effect respecting the following lands: 1. CON 2 REAR PT LOT 26 – frontage on Sideroad 25 N and Concession 7 – no municipal Address; 2. CON 1 REAR LOT 24 - 7115 Concession 2; 3. CON GORE REAR PT LOT 5 - 6615 Concession 1; 4. CON 7 PT LOT 23 PT RD ALLOW RP 61R6244 PART 1 AND RP 61R10513 PART 9 - 92 Brock Road S and CON 8 PT LOT 23 PT RD ALLOW RP 61R20126 PARTS 1 and 2 – no municipal address; 5. CON 7 PT LOT 23 PT RD ALLOW RP 61R6244 PART 1 AND RP 61R10513 PART 9 – 92 Brock Road S and CON 8 PT LOT 23 PT RD ALLOW RP 61R20126 PARTS 1 and 2; 6. CON GORE PT LOT 30 - 7272 Gore Road; 7. CON 7 PT LOT 31, PLAN 135 LOTS 1 TO 17 FISHER ST S LOTS 33 TO 35 48 TO 50 - Portion of 66 Queen Street (DRS Subdivision); and 8. PART OF LOT 31, CONCESSION 7 AND PART OF LOTS 10 & 11(SOUTH SIDE OF QUEEN STREET) AND ALL OF LOTS 49 & 50 AND PART OF LOT 48 (SOUTH	Notwithstanding anything to the contrary, including Subsection 1.1.3 a., By-law 023-2018 shall be deemed not to apply to the lands and By-law 19/85 and all amendments thereto shall continue in full force and effect respecting the following lands: 1. CON 2 REAR PT LOT 26 – frontage on Sideroad 25 N and Concession 7 – no municipal Address; 2. CON 1 REAR LOT 24 - 7115 Concession 2; 3. CON GORE REAR PT LOT 5 - 6615 Concession 1; 4. CON 7 PT LOT 23 PT RD ALLOW RP 61R6244 PART 1 AND RP 61R10513 PART 9 – 92 Brock Road S and CON 8 PT LOT 23 PT RD ALLOW RP 61R20126 PARTS 1 and 2 – no municipal address; 5. CON 7 PT LOT 23 PT RD ALLOW RP 61R6244 PART 1 AND RP 61R10513 PART 9 – 92 Brock Road S and CON 8 PT LOT 23 PT RD ALLOW RP 61R20126 PARTS 1 and 2; 6. 3 CON GORE PT LOT 30 - 7272 Gore Road; 7. 4 4 CON 7 PT LOT 31, PLAN 135 LOTS 1 TO 17 FISHER ST S LOTS 33 TO 35 48 TO 50 - Portion of 66 Queen Street (DRS Subdivision); and 8. 5 5 PART OF LOT 31, CONCESSION 7 AND PART OF LOTS 10 & 11(SOUTH SIDE OF QUEEN STREET) AND ALL OF LOTS 49 & 50 AND PART OF LOT 48 (SOUTH SIDE OF VICTORIA STREET) AND PART OF VICTORIA STREET AND PART OF FISHER STREET COLFAS' SURVEY, REGISTERED PLAN 135, TOWNSHIP OF PUSLINCH, COUNTY OF WELLINGTON, PART 1 on	Remove properties that are no longer subject to the previous By-law 19/85

#	Zoning By-Law 23/18 Section	ZBA Section	Existing provision/section/reason	Proposed provision/section	Recommendation
			SIDE OF VICTORIA STREET) AND PART OF VICTORIA STREET AND PART OF FISHER STREET COLFAS' SURVEY, REGISTERED PLAN 135, TOWNSHIP OF PUSLINCH, COUNTY OF WELLINGTON, PART 1 on 61R21266.	61R21266.	
3	Section 1 Administration and Interpretation	1.3.2	Minor Variances that have been approved since the appeal of By-law 23/18 until the date the By-law came in to effect. 38 variances in total	Proposed Wording to the By-law: All minor variances applied for prior to the enactment of this By-law and finally approved pursuant to Section 45 of the Planning Act, RS.O. 1990, c. P13 and all minor variances similarly approved while this By-law was under appeal before the LPAT continue to apply and remain in force as if they are variances to this By-law.	Minor variances under By-law 19/85 continue to apply under new By-law 23/18. Revision recognizes minor variances approved while new Bylaw was under appeal at LPAT.
4	Section 3 Definitions	3.0	New Definitions CARPORT, means a covered structure used for the storage of vehicles. The roof of the said structure shall be supported by piers or columns so that more than 40 percent of its wall area adjacent to the lot line is unenclosed.		Add new definition as Carport is referenced in other parts of the By-law.
5		3.0	COVERAGE, LOT, the total horizontal area of a lot covered by the first storey of all buildings and structures on the lot, but does not include open, unenclosed decks, patios, and porches not exceeding three (3) metres in building height and not covered by a support roof structure. For the purpose of calculating lot coverage in accordance with the zone provisions of this By-law, the lot coverage of all accessory buildings and structures on the subject lot shall be included.	COVERAGE, LOT, the total horizontal area of a lot covered by the first storey of all buildings and structures on the lot, but does not include open, unenclosed decks, unenclosed swimming pools, patios, and porches not exceeding three (3) metres in building height and not covered by a support roof structure. For the purpose of calculating lot coverage in accordance with the zone provisions of this By-law, the lot coverage of all accessory buildings and structures on the subject lot shall be included.	Clarify that unenclosed swimming pools are not included in calculation of lot coverage
6	Section 3 Definition	3.0	YARD, FRONT, a yard extending across the full width of the lot between the front lot line and the nearest exteriors of the	YARD, FRONT, A yard extending across the full width of the lot between the front lot line and the nearest exteriors of the principal	Add additional wording to clarify interpretation/application adjacent

#	Zoning By-Law 23/18 Section	ZBA Section	Existing provision/section/reason	Proposed provision/section	Recommendation
---	-----------------------------	-------------	-----------------------------------	----------------------------	----------------

			principal building or structure on the lot.	building or structure on the lot; the front yard may be considered a rear yard when the property abuts a lake or watercourse.	to a lake or watercourse
7	Section 3 Definition	3.0	HEIGHT , The vertical distance between the elevation of the grade adjoining the base of the exterior walls or supports of such building or structure, exclusive of any artificial embankment, at the centre of the front of the building, and the highest point of the roof surface or parapet wall. In the case of a structure not having a roof height shall be measure to the top part of such structure.	HEIGHT , when used in reference to a building or structure, means the vertical distance between the elevation of the grade adjoining the base of the exterior walls or supports of such building or structure, exclusive of any artificial embankment, at the centre of the front of the building and: <ul style="list-style-type: none"> (i) In the case of a flat roof, the highest point of the roof structure or parapet wall; (ii) In the case of a mansard roof, the deck line; (iii) In the case of a gabled, hip, gambrel or one slope roof having a slope of less than 20 degrees from the horizontal shall be considered a flat roof for the purposes of this by law; (iv) In the case of a structure not having a roof, the top of the structure; or, (v) Where a combustible exterior wall extends above the top of the roof of a building the topmost part of such exterior wall 	Revert to previous By-law calculation of building height which is traditional practice in the Township.
8	Section 3 Definition	3.0	INDUSTRIAL USE, DRY any premises used for manufacturing, processing, fabrication and assembly of raw materials or repair, servicing, distribution and storage of materials, where: <ul style="list-style-type: none"> a. No water requirements are necessary as part of the assembly, manufacture, fabrication, repair, packaging 	INDUSTRIAL USE, DRY any premises used for manufacturing, processing, fabrication and assembly of raw materials or repair, servicing, distribution and storage of materials, where: <ul style="list-style-type: none"> a. No significant water requirements are necessary as part of the assembly, manufacture, fabrication, repair, packaging and storage activities; and; 	Clarify the requirements for water and septic requirements within the industrial zone. Significant water use includes the need for a property to require a Permit

#	Zoning By-Law 23/18 Section	ZBA Section	Existing provision/section/reason	Proposed provision/section	Recommendation
---	-----------------------------	-------------	-----------------------------------	----------------------------	----------------

			and storage activities; and; b. No sewage disposal requirements are necessary as part of the assembly, manufacture, fabrication, repair, packaging and storage activities; and, c. Water supply and sewage disposal requirements are limited to those necessary to serve onsite employees only.	b. No significant sewage disposal requirements are necessary as part of the assembly, manufacture, fabrication, repair, packaging and storage activities; and, e. Water supply and sewage disposal requirements are limited to those necessary to serve onsite employees only.	to Take Water and significant sewage disposal includes the need for a property to obtain approval or a permit from the Ministry of Environment. This is the approach in the previous By-law 19/85.
9	Section 3 Definition	3.0	RECREATIONAL VEHICLE , a motor vehicle that is primarily designed to provide temporary living quarters for recreational camping, travel or seasonal use, whether it has its own motor power or is mounted on or towed by another vehicle, and includes travel trailers, fifth wheel travel trailers, tent trailers and campers whether the camper is or is not attached to a motor vehicle and does not include a mobile home or a manufactured home.	RECREATIONAL VEHICLE , a motor vehicle that is primarily designed to provide temporary living quarters for recreational camping, travel or seasonal use, whether it has its own motor power or is mounted on or towed by another vehicle, and includes travel trailers, fifth wheel travel trailers, tent trailers and campers whether the camper is or is not attached to a motor vehicle and does not include a mobile home or a manufactured home. Seasonal recreational use, for the purposes of this definition, does not include the winter season and more specifically, means the use is prohibited during the time period of November 1st to April 1st inclusive.	Clarify that recreational vehicles may not be used/occupied for living quarters between November and April.
10	Section 4 General Provisions	4.2. b)	a. Where permitted by this By-law, a maximum of one accessory apartment shall be permitted per single detached, semi-detached, or townhouse dwelling, provided that: i. the maximum floor area shall not exceed the lessor of 40 percent of the floor area of the principal dwelling unit or 130 m ² ; and ii. individual on-site sewage and water services are approved for the lot and have adequate	a. Where permitted by this By-law, a maximum of one accessory apartment shall be permitted per single detached, semi-detached, or townhouse dwelling, provided that: i. the maximum floor area shall not exceed the lessor of 40 percent of the floor area of the principal dwelling unit or 130 m ² ; and ii. individual on-site sewage and water services are approved for the lot and have adequate capacity for the accessory	Clarify standards for accessory apartments within accessory buildings in the Ag zone.

#	Zoning By-Law 23/18 Section	ZBA Section	Existing provision/section/reason	Proposed provision/section	Recommendation
			<p>capacity for the accessory apartment and any other uses on the lot.</p> <p>b. An accessory apartment shall only be permitted above a detached building in the Agricultural (A) Zone, subject to the following provisions:</p> <p>i. the building is located within 15 metres of the single detached dwelling on the lot;</p> <p>ii. the building does not exceed eight (8) metres in height;</p> <p>iii. the building complies with the minimum interior side, exterior side, and rear yard requirements for a single detached dwelling in the Agricultural (A) Zone; and</p> <p>v. a maximum of one accessory apartment is provided on the lot.</p>	<p>apartment and any other uses on the lot.</p> <p>b. In the Agricultural Zone, an accessory apartment shall only may be permitted in a single detached dwelling or within an accessory building detached building in the Agricultural (A) Zone, subject to the following provisions:</p> <p>i. the building is located within 15 metres of the single detached dwelling on the lot;</p> <p>ii. the building does not exceed eight (8) metres in height</p> <p>iii. the building complies with the minimum interior side, exterior side, and rear yard requirements for a single detached dwelling in the Agricultural (A) Zone; and</p> <p>iv. a maximum of one accessory apartment is provided on the lot.</p> <p>iv. the maximum floor area shall not exceed 40 percent of the floor area of the principal dwelling unit or 130 m2; and</p> <p>v. individual on-site sewage and water services are approved for the lot and have adequate capacity for the accessory apartment and any other uses on the lot.</p>	
11	Section 5 Parking	5.2. 12	<p>Parking of Commercial Motor vehicles in Residential Zones</p> <p>a. The following provisions apply to the parking of commercial motor vehicles in Residential Zones:</p> <p>i. The commercial motor vehicle shall be parked in a private garage or on a driveway;</p> <p>ii. Commercial motor vehicles shall not be permitted on any lot unless a principal building has been constructed on that same</p>	<p>Parking of Commercial Motor vehicles in Residential and Agricultural Zones</p> <p>a. The One (1) personal commercial motor vehicle may be parked on a lot in the above zones subject to the following provisions: apply to the parking of commercial motor vehicles in Residential Zones:</p> <p>i. The commercial motor vehicle shall be parked in a private garage or on a driveway;</p>	<p>Allow the parking of one commercial vehicle on a property in the Ag zone.</p>

#	Zoning By-Law 23/18 Section	ZBA Section	Existing provision/section/reason	Proposed provision/section	Recommendation
			<p>lot;</p> <p>iii. The commercial motor vehicle shall be no more than 7.5 metres in length (exclusive of hitch/tongue); and</p> <p>iv. The commercial motor vehicle shall be no more than 3.2 metres in height, measured from the ground to the highest point of the commercial motor vehicle.</p>	<p>ii. Commercial motor vehicles shall not be permitted on any lot unless a principal building has been constructed on that same lot;</p> <p>iii. The commercial motor vehicle shall be no more than 7.5 metres in length (exclusive of hitch/tongue); and</p> <p>iv. The commercial motor vehicle shall be no more than 3.2 metres in height, measured from the ground to the highest point of the commercial motor vehicle.</p>	
12	Section 6 Residential Zone	6.3 (1)	Remove 6.3 (1), The minimum lot area may be reduced where site-specific hydrogeological studies have been completed by the owner and approved by the Township, which demonstrates that the proposed lot(s) will meet the minimum lot area recommendations of the study.	The minimum lot area may be reduced where site-specific hydrogeological studies have been completed by the owner and approved by the Township, which demonstrates that the proposed lot(s) will meet the minimum lot area recommendations of the study.	Remove Hydrogeological as of right to reduce the lot size.
13	Section 7 Mixed-Use Zone	7.3 (1)	Remove 7.3 (1), The minimum lot area may be reduced where site-specific hydrogeological studies have been completed by the owner and approved by the Township, which demonstrates that the proposed lot(s) will meet the minimum lot area recommendations of the study.	The minimum lot area may be reduced where site-specific hydrogeological studies have been completed by the owner and approved by the Township, which demonstrates that the proposed lot(s) will meet the minimum lot area recommendations of the study.	Remove Hydrogeological as of right to reduce the lot size.
14	Section 8 Commercial Zone	8.3 (1)	Remove 8.3 (1), The minimum lot area may be reduced where site-specific hydrogeological studies have been completed by the owner and approved by the Township, which demonstrates that the proposed lot(s) will meet the minimum lot area recommendations of the study.	The minimum lot area may be reduced where site-specific hydrogeological studies have been completed by the owner and approved by the Township, which demonstrates that the proposed lot(s) will meet the minimum lot area recommendations of the study.	Remove Hydrogeological as of right to reduce the lot size.
15	Section 9 Industrial Zone	Table 9.1	Recycling facility permitted in Industrial and Disposal Zone	Remove checkmark in IND column for Recycling Facility	Propose remove recycling facility from Industrial zone and only permit in DI Zone.
16	Section 9	9.2	Use-Specific Special provisions:	Add under Section use specific	Amend Use-To

#	Zoning By-Law 23/18 Section	ZBA Section	Existing provision/section/reason	Proposed provision/section	Recommendation
---	-----------------------------	-------------	-----------------------------------	----------------------------	----------------

	Industrial Zone	(1)		section (1) to include the following: a) Notwithstanding subsection 9.2(1) above, where a use legally permitted under zoning By-law 19/85 existing on the date of passing this by-law, has an on-site private water system approved and/or certified by the Province of Ontario or other appropriate authority, such use shall be permitted in accordance with all other requirements of this by-law.	provide recognition of legally permitted uses with existing MOEE permits for water and sewage.
17	Section 13 Zone Overlays (EP)	13.2 a	a. The special provisions in Table 13.1 shall apply prior to the granting of any planning approvals or the issuance of any building permit for proposed development on lands within the EP Overlay:	a. The special provisions in Table 13.1 shall apply prior to the granting of any planning approvals or the issuance of any building permit for proposed development on lands within the EP Overlay.	Remove requirement for environmental studies and peer review required for building permit. Required to continue to apply to planning approvals
18	Section 13 Zone Overlays (Industrial Overlay)	13.5		Revise mapping to include lands that are designated as FD along HWY 6	Clarifies the lands that should be included in the overlay
19	Section 14 Site - Specific	Table 14.1	Revise Heading Additional Permitted Uses	Additional Permitted Uses Some properties have been granted additional uses when the site specific amendments were intended to restrict uses in some cases.	Remove wording in heading to clarify which provisions apply to specific properties.
20	Section 14 Site Specific Special Provisions	Table 14.1 (1)	Vacant lot adjacent to 4151 Concession 11 CON 11 PT LOT 34 PART 1 currently has a Site Specific Zone that permits a Kennel, the lot is a result of a vacant lot severance in the Secondary Ag area.	The lands were created in 2018 and does not meet the requirements for a kennel.	Update mapping of Schedule 'A' to reflect new lot
21	Section 14 Site Specific Special Provisions	Table 14.1 (31)	Heritage Lake Lot area (min.): 2,023 m ² Lot frontage (min.): 27.5m Lot frontage (min.) – Units 7, 8, 29, 30, 53, 54: 24 m	Heritage Lake Lot area (min.): 2,023 m ² Lot frontage (min.): 27.5m Lot frontage (min.) – Units 7, 8, 29, 30, 53, 54: 24 m	Site Specific Provisions to be amended to include lot coverage

#	Zoning By-Law 23/18 Section	ZBA Section	Existing provision/section/reason	Proposed provision/section	Recommendation
			<p>Front yard depth (min.): 7.5 m</p> <p>Front yard depth (min.) – Units 7, 8, 9, 23, 24, 25, 26, 28, 29, 30, 31, 53, 54: 10 m</p> <p>Interior side yard (min.): 5 m</p> <p>Interior side yard width (min.) – Units 8, 22, 24, 25, 28, 29, 30, 53, 54: 3 m</p> <p>Exterior side yard (min.): 7.5 m</p> <p>Rear yard depth (min.): 7.5 m</p> <p>Landscaped open space (min.): 30%</p> <p>Lot coverage (max.): 20%</p> <p>No additional setback will be required from the boundary of any NE zone</p>	<p>Front yard depth (min.): 7.5 m</p> <p>Front yard depth (min.) – Units 7, 8, 9, 23, 24, 25, 26, 28, 29, 30, 31, 53, 54: 10 m</p> <p>Interior side yard (min.): 5 m</p> <p>Interior side yard width (min.) – Units 8, 22, 24, 25, 28, 29, 30, 53, 54: 3 m</p> <p>Exterior side yard (min.): 7.5 m</p> <p>Rear yard depth (min.): 7.5 m</p> <p>Landscaped open space (min.): 30%</p> <p>Lot coverage (max.): 20%</p> <p>Lot coverage (max.) WVLC 172 Units - 52; 53; 55; 56; 57; 58; 59; 60; 61; 62; 63; 64; 65; 67; 69; 71; 73; and 74: 25%</p> <p>No additional setback will be required from the boundary of any NE zone</p>	requirements on undeveloped lots
22	Section 14 Site Specific Special Provisions	Table 14.1 (57)	<p>Former St Mary's Cement Property, intersection of Brock Rd and Mclean Rd:</p> <p>The extraction of aggregate resources shall not occur below a point which is 1 m above the high water table.</p>	<p>Include the following special provisions: a bakery; a bank; a building or construction contractor's yard; a building supply establishment; a business office, professional office, or administrative office; a clinic; a dry cleaner's distribution station; an equipment rental establishment; a factory outlet; an indoor storage or warehouse facility; an industrial use; a personal service shop; a public use; a restaurant; a service trade; a transport terminal; a veterinarian's clinic; uses, buildings, and structures (including ancillary retail or showroom space) accessory to an above-listed permitted use.</p> <p>(a) LOT AREA (MINIMUM): 12 hectares</p> <p>(b) LOT FRONTAGE (MINIMUM): 100 metres</p> <p>(c) LOT COVERAGE (MAXIMUM): 40%</p> <p>(d) LANDSCAPE OPEN SPACE (MINIMUM): 30%</p>	Update mapping and Site Specific zone to consistently reflect the amending By-law ZBL No. 049-2017 that was previously passed.

#	Zoning By-Law 23/18 Section	ZBA Section	Existing provision/section/reason	Proposed provision/section	Recommendation
				<p>(e) Open (outdoor) storage shall be screened and fenced, and not be visible from a public road or adjacent property. Open storage areas shall be in accordance with regulations of Section 3 (General Provisions).</p> <p>Remove NE zone from property.</p> <p>Align IND zone with property lines as was intended under the previously approved By-law.</p>	
23	Section 14 Site Specific Special Provisions	Table 14.1 (89)	128 Brock Road. No. 89 Missing from By-law, propose addition of previously approved wording	<p>Uses Permitted:</p> <p>An art gallery; Conference or meeting facility; A personal service shop; Professional office; A public office; Garden centres or nurseries; Log cabin/model home display; A restaurant; Miniature golf; A refreshment room; A retail store engaged in the sale of gifts, antiques, tourist shop, furniture, home and garden or landscaping improvement supplies, farm produce, or domestic arts and crafts; Model railway; A specialty food store; A variety store; Outdoor activity area; A recreational or entertainment facility</p>	Add specific provisions that were omitted in final version of By-law (C2-3). Property already has sp89 referenced but the text is missing from the By-law.
24	Section 14 Site Specific Special Provisions	Table 14.1 (XX)	6926 Gore Road, site specific was omitted in final By-law preparation	<p>Add:</p> <p>(i) Expiration of Garden Suite Use This garden suite is a temporary use, established by By-law No. 18/2013 and shall be in effect for a maximum of twenty (20) years from the date of passage of this By-law to February 6, 2033. Upon the expiry of this time period, unless extended by further amendment(s)</p>	Include previously approved site specific provision (A-53)

#	Zoning By-Law 23/18 Section	ZBA Section	Existing provision/section/reason	Proposed provision/section	Recommendation
---	-----------------------------	-------------	-----------------------------------	----------------------------	----------------

				to this By-law, the subject land shall revert to the original Agricultural (A) Zone whereby a garden suite is not a permitted use.	
25	Section 14 Site Specific Special Provisions	Table 14.1 (XX)	4028 Highway 6, include provision that recognizes current use of the property	(i) Additional permitted uses include any motor vehicle use except as specifically prohibited by this By-law but does not include a transport terminal as defined.	Lands were rezoned to Commercial under new By-law but omitted the current use of the property in error
26	Section 14 Site Specific Provisions	Table 14.1 (sp53)	Clarify setback requirements to NE zone.	Outdoor storage areas shall only be located to the rear of a permitted building and not be visible from a street or adjacent lots. The establishment of the NE zone for the surrounding land includes the natural heritage features and the approved associated buffer areas. Accordingly, the setback provisions of Section 4.23 4.31 do not apply.	Wrong section referred to, should be 4.31.
27	Zoning By-Law Amendments	Table 14.1 (XX)	Zoning By-law amendments to the previous By-law that were passed from the Date of Appeal to the By-law coming in to effect	The following zoning By-law amendments to be added as site specific provisions passed while the new By-law was under appeal: a) 033/2018 b) 044/2018 c) 058/2018 d) 060/2018 e) 061/2018 f) 062/2018 g) 063/2018 h) 069/2018 i) 070/2018 j) 071/2018 (Doughty) k) 072/2018 (Doughty) l) 026/2019	Add Zoning Amendments to map and text that have been approved under the previous By-law. These By-laws were approved while the new By-law was under appeal at LPAT.
28	Schedule A	Map	Update Zoning Boundary Lines to reflect Lot Line Adjustment that occurred in 2017	Applies to the following properties: 14 & 18 Elisabeth Place	Update map to reflect latest lot line adjustment
29	Schedule A	Map	Update NE and A Zoning Boundary Lines to reflect approved consent application.	Applies to the following properties: 7201 Concession 1	Update map to reflect NE zone, which would restrict a dwelling on the retained lands.

#	Zoning By-Law 23/18 Section	ZBA Section	Existing provision/section/reason	Proposed provision/section	Recommendation
---	--------------------------------------	----------------	--------------------------------------	-------------------------------	----------------